

House Type Working Drawings -

: Elevations	Rev C
: Ground Floor Plan	Rev C
: First Floor Plan	Rev B
: Services S/O Plan (B&B)	Rev B
: Joist Layout	Rev B
: Roof Plan	Rev C
: Section	Rev C
: Kitchen Plan	Rev B
: Part M(2) Compliance	Rev A
: Future shower facilitation	Rev

Detailed Revision Description

<u>Rev</u>	<u>Description</u>	<u>Date</u>
00	Based on DWH drawing SH50-EH7. House extended at rear by 750mm	04.02.20
	House lengthened by 3mm to comply with S106 requirements. Deepflow gutters noted. Window sash horns removed from elevations. Windpost added, buttress walls noted	19.08.20
01	Updated to suit latest group drawing Type 50 DS01. SP version removed.	03.02.21
	CONSTRUCTION ISSUE	
02	Windpost removed.	12.03.21

TOTAL FLOOR AREA - 819 Sq ft

HTV CODE:  
SH91 DRSA AA00

For Electric vehicle charging location refer to drawing H7787-007

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SH50-EH7  
PLOT NUMBERS:

AS: 195  
OPP: 198

Dunmore Rd  
Ph1

TOTAL FLOOR AREA : 76.1 m2 / 819 Sq ft

Sales Name: .

House Type Code: SH50-EH7

Spec: AFFORDABLE Drawing No: 01

Drawn: GDT Checked: GDT

Date: July 2020

Scale: N/A

DATA SHEET

Rev: 02 Refer to Data Sheet for full details

Date: 12.03.21

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**Windows:**

All upper floor windows to be provided with lockable window handles on non secure be design sites

**Part Q:**

For windows at ground floor and accessible windows above canopies ETC

\* Toughened & clear

\*\* Toughened & obscure

Q = Part Q compliance windows

Extract fan locations drawn to comply with zero-plotting, where HTs are not zero-plotted extracts should be taken through wall or shortest route

5mm continuous ridge ventilation

150mm fascia  
250mm soffit

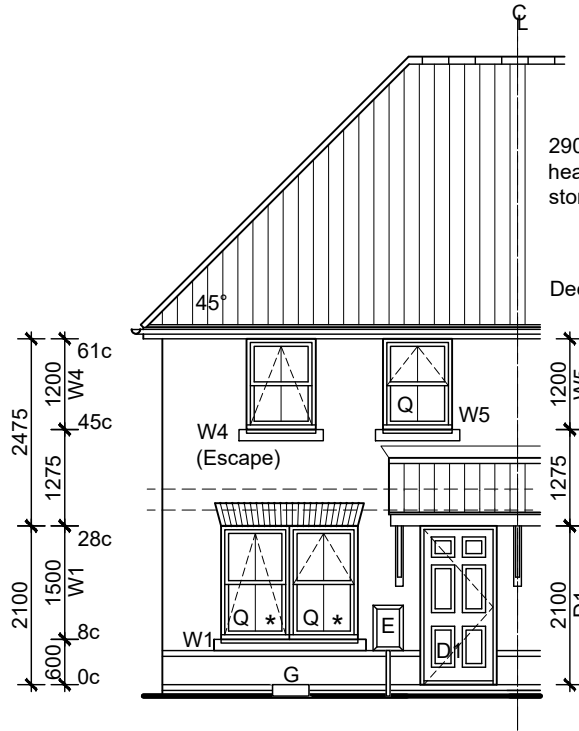
Cavity tray & code 4 lead flashing to all abutment

Stormking or similar approved GRP canopy (min 900mm width x 600mm depth)

Window handle to W1 to be positioned between 450 and 1200mm above ffl. All other windows handles to be positioned between 450 and 1400mm above ffl.

1 course contrasting brick stretcher band projecting 15mm, beneath W1 cill to front elevation with 440mm returns to gable

1 course contrasting brick stretcher feature band projecting 15mm, above and beneath rear windows



**SH50-EH7 FRONT**

290mm high splayed brick heads and 140mm Cast stone sills to front elevations

Deepflow gutters

61c  
47c  
28c  
14c  
1050  
0c

W5  
W6  
W2

D1

W1

W4

W3

W7

W8

W9

W10

W11

W12

W13

W14

W15

W16

W17

W18

W19

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W275

ALL DRAWINGS ARE COMPLIANT UPTO & INCLUDING OCTOBER 2015 BUILDING REGULATIONS UPDATES. THESE DRAWINGS ARE DESIGNED TO AD M CATEGORY 2.

ELECTRICAL SYMBOLS KEY

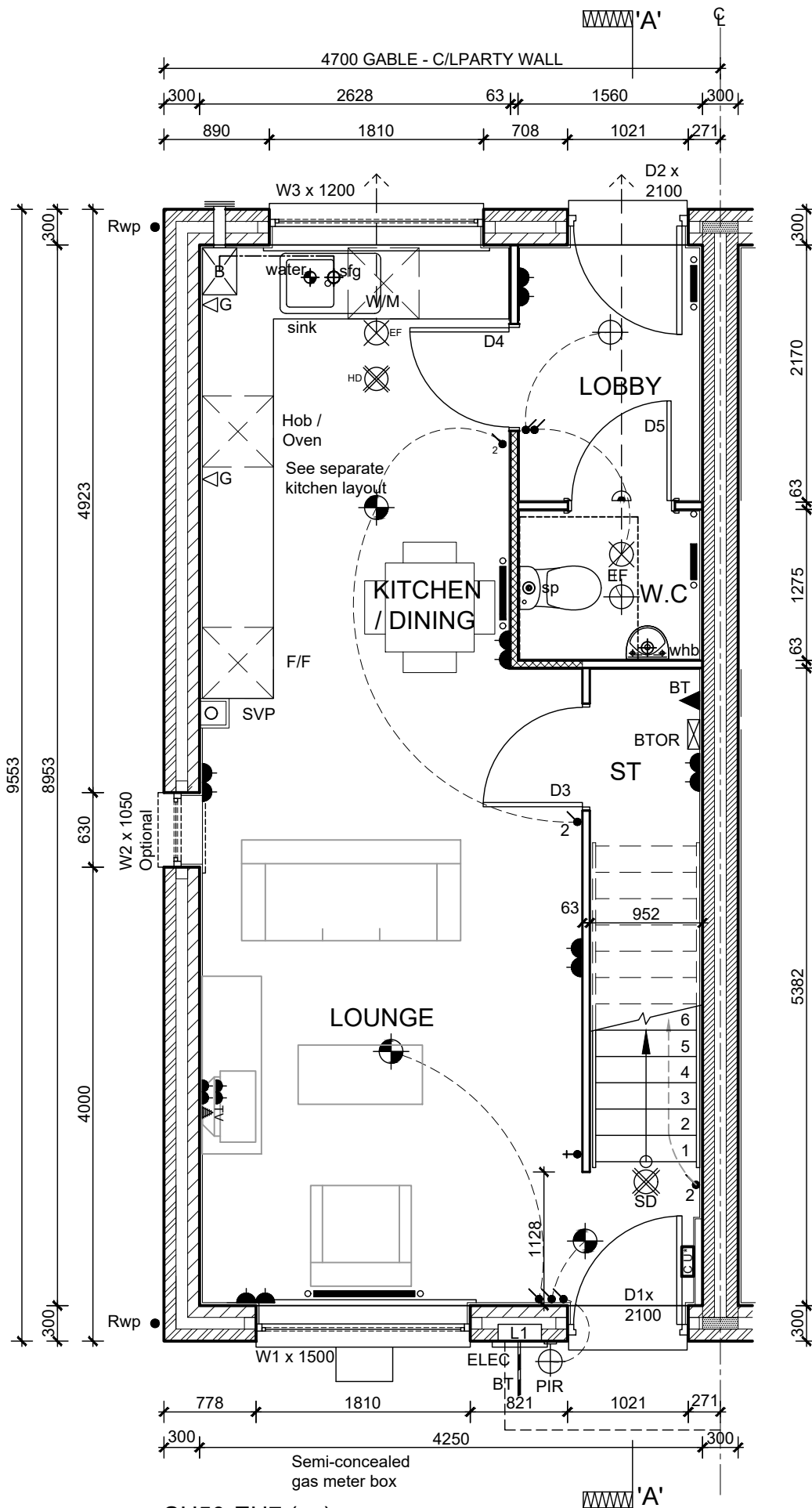
- EF Ceiling mounted extract fan
- EF Wall mounted extract fan
- SD Smoke Detector
- CO Carbon Monoxide Detector.  
To wall - located above the height of any door or window min 150mm from ceiling.  
To Ceiling - located min 300mm from any wall.
- HD Heat Detector
- Shaver socket outlet
- im Immersion switch
- G Gas point
- Double socket outlet
- Pendant light fitting with Low Energy bulb
- Fluorescent Strip light fitting
- White sealed bulkhead light fitting with Low Energy bulb
- IPX4 White sealed bulkhead light fitting with Low Energy bulb.
- Wall mounted light fitting with Low Energy bulb
- TV TV point
- BT Telephone point
- CU Consumer unit - fixed 1350mm - 1450mm from FFL
- BTOR BT Open Reach Location - Refer to Trade Specification if to be utilised on site.
- Lightswitch
- Lightswitch - 2 way
- Extract Fan isolator switch with 'FAN' label/symbol @ H.L. centred above door
- Thermostat

DOOR SCHEDULE				
Door Ref	Door Size (widthxheight)	Door weight(kg)	Lintel Ref (weight kg)	Fire Door
D1	914 x 2013mm	35.2	CH90/100 1350 (15.1)	No
D2	914 x 2013mm	35.2	CH90/100 1350 (15.1)	No
D3	838 x 1981mm	18.0	N/A	No
D4	838 x 1981mm	18.0	N/A	No
D5	838 x 1981mm	18.0	N/A	No

WINDOW SCHEDULE				
Window Ref	Struct opening (widthxheight)	Lintel Ref (weight kg)	Fire Escape	Optional
W1#	1810 x 1500mm	CH90/100 2100 (29.4)	No	No
W2*	630 x 1050mm	CG90/100 900 (5.5)	No	Yes
W3	1810 x 1200mm	CG90/100 2100 (17.4)	No	No

\* Window is Optional  
# to SP units ONLY: Lintel to be supplied with 75mm PVCU arch former

OTHER OPENINGS		
L1	Meter box	MBA 818 (1.7)



SH50-EH7 (as)

Acoustic insulation provided within timber stud partitions between wet rooms and living areas.

Kitchen to be ventilated by ceiling mounted extract vent providing intermittent ventilation of 60l/s minimum

WC to be ventilated by extract vent providing intermittent ventilation of 15l/s minimum, switched with light, fitted with 15 minute overrun

W.C extract ducted through floor zone to external wall above centre line of D2

SVP boxed with 2x12.5mm plasterboard. Void to be packed with Fibre quilt insulation

Boiler flue outlet to be min 300mm from door/window opening

RWP positions may differ from that shown. For actual location refer to site specific drainage layout

Principle Front and Alternative Rear Entrance doors Min. clear opening 850mm in accordance with Approved Document Part M Category 2

1200 x 1200mm minimum level platform to front principle entrance OR rear alternative entrance (where step free approach cannot be reasonably achieved to the front principle entrance).

All external doors to have accessible thresholds with max. 15mm upstands (refer to standard detail).

Weather protection provided by Canopy over to front principle entrance OR rear alternative entrance (where step free approach cannot be reasonably achieved to the front principle entrance). Min. Canopy width of 900mm and Min. depth of 600mm.

Entrance Approach route min.900mm width (max. gradient 1 in 20) to comply with Approved Document Part M Category 2.

Sockets, switches, stopcocks and controls to be positioned a min 300mm horizontally from an inside corner.

Stair soffit over store to be underdrawn with 15mm wallboard fixed at strings and batten at centre of stairs

Extract fan locations drawn to comply with zero plotting, where HT's are not zero plotted extracts should be taken through walls or shortest route

WALL KEY:

- Facing Brickwork (Ext Walls - Ext Leaf)
- Aircrete Blockwork - refer to specification for block strength (Ext Walls - Int leaf & Int Walls)
- Medium density or Aircrete Blockwork (Party Walls) refer to specification for block strength
- Acoustic insulation to timber stud partitions

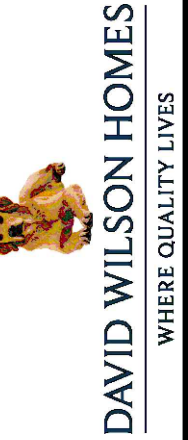
TOTAL FLOOR AREA : 76.1 m2 / 819 Sq ft

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Sales Name: .  
House Type Code: SH50-EH7  
Spec: AFFORDABLE Drawing No: 03  
Date: July 2020  
Drawn: GDT  
Checked: GDT  
Scale: 1:50

GROUND FLOOR PLAN

Refer to Data Sheet for full details  
C  
12.03.21



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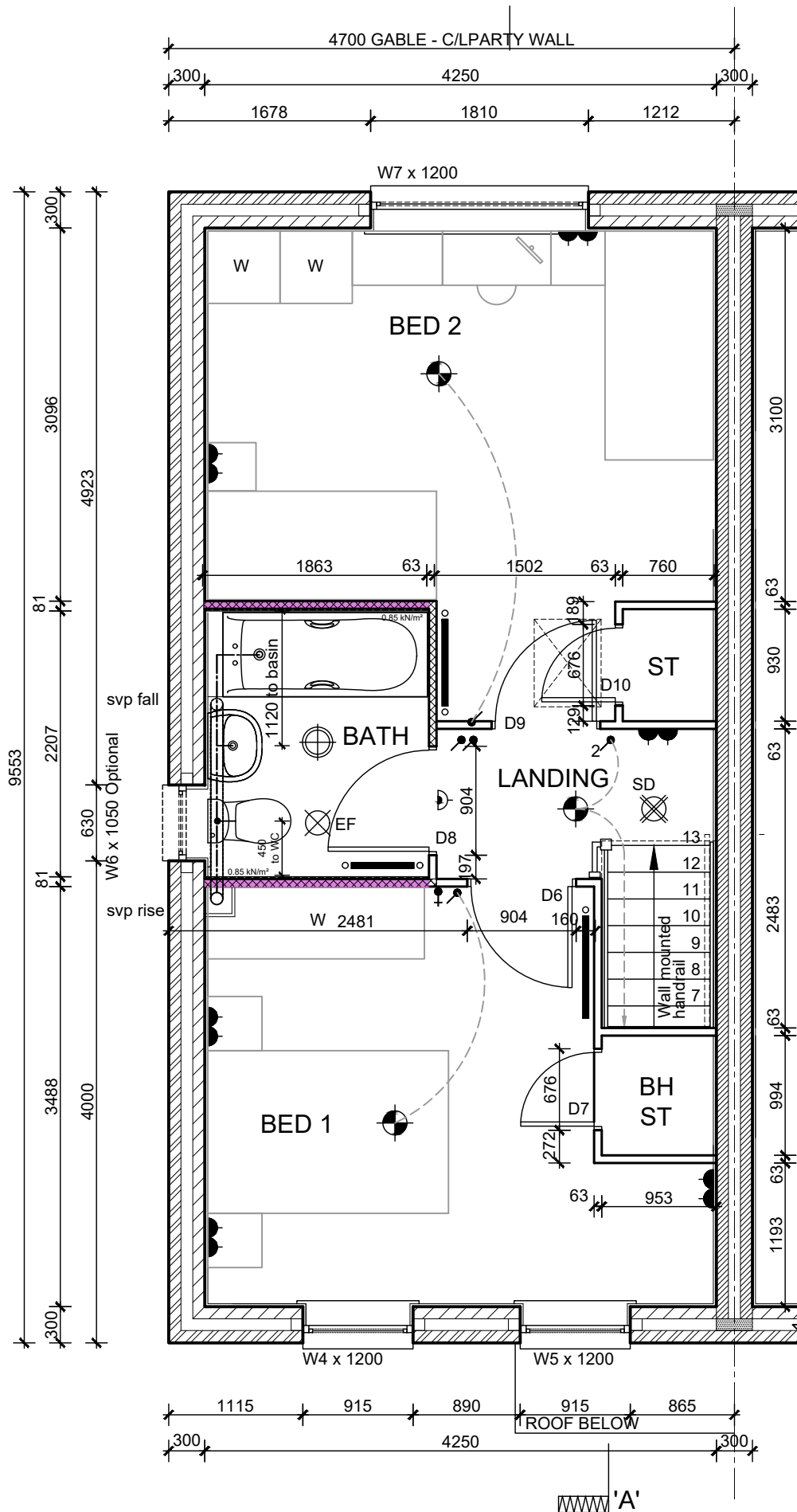
ELECTRICAL SYMBOLS KEY

- EF Ceiling mounted extract fan
- EF Wall mounted extract fan
- SD Smoke Detector
- CO Carbon Monoxide Detector.  
To wall - located above the height of any door or window min 150mm from ceiling.  
To Ceiling - located min 300mm from any wall.
- HD Heat Detector
- Shaver socket outlet
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- Wall mounted light fitting with Low Energy bulb
- TV TV point
- BT Telephone point
- CU Consumer unit - fixed 1350mm - 1450mm from FFL
- BTOR BT Open Reach Location - Refer to Trade Specification if to be utilised on site.
- Lightswitch
- Lightswitch - 2 way
- Extract Fan isolator switch with 'FAN' label/symbol @ H.L. centred above door
- Thermostat

DOOR SCHEDULE				
Door Ref	Door Size (widthxheight)	Door weight(kg)	Lintel Ref (weight kg)	Fire Door
D6	838 x 1981mm	18.0	N/A	No
D7	610 x 1981mm	15.0	N/A	No
D8	838 x 1981mm	18.0	N/A	No
D9	838 x 1981mm	18.0	N/A	No
D10	610 x 1981mm	15.0	N/A	No

WINDOW SCHEDULE			
Window Ref	Struct opening (widthxheight)	Lintel Ref (weight kg)	Fire Escape
W4	915 x 1200mm	CGE90/100 1200 (9.2)	Yes
W5	915 x 1200mm	CGE90/100 1200 (9.2)	No
W6*	630 x 1050mm	CG90/100 900 (5.5)	No
W7	1810 x 1200mm	CH50/100 2100 (27.5)	Yes

\* Window is Optional



Acoustic insulation provided within timber stud partitions between wet rooms and living areas, and between bedrooms

Bathroom to be ventilated by extract vent providing intermittent ventilation of 15l/s min

Bathroom extract fan to be ceiling mounted, switched separately to light, ducted through roof void to in-line tile vent

Stair balustrade to be min 900mm above F.F.L

For bulkhead timber sizes refer to standard detail

SVP boxed with 2x12.5mm plasterboard. Void to be packed with Fibre quilt insulation

RWP positions may differ from that shown. For actual location refer to site specific drainage layout

Sockets, switches, stopcocks and controls to be positioned a min 300mm horizontally from an inside corner.

Stair soffit over store to be underdrawn with 15mm wallboard fixed at strings and batten at centre of stairs

WALL KEY:

- Facing Brickwork (Ext Walls - Ext Leaf)
- Aircrete Blockwork - refer to specification for block strength (Ext. Walls - Int. leaf & Int. Walls)
- Medium density or Aircrete Blockwork (Party Walls) refer to specification for block strength
- Acoustic insulation to timber stud partition

38 x 63mm C16 studs at 450mm c/c's max on 18mm thick Coniferous sheathing ply Wet Room side of stud partition where indicated by dashed line (for fixing of futu grab rails). Designed for 0.85kN/m<sup>2</sup> loading.

TOTAL FLOOR AREA : 76.1 m<sup>2</sup> / 819 Sq ft

Sales Name: .

House Type Code: SH50-EH7

Spec: AFFORDABLE Drawing No: 04

Drawn: GDT Checked: GDT

Date: July 2020

Scale: 1:50

FIRST FLOOR PLAN

Refer to Data Sheet for full details

B

04.02.21

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**FOUNDATIONS**

Foundation widths / type are indicative only. Refer to Structural Engineers' Foundation and B & B Design for detailed information.




For plot specific Foundation Design refer to Site Structural Engineers' information.


Depth of foundation to satisfy NHBC requirements and to be agreed on site with approved inspector.

Rwp positions may differ from those shown. For actual location refer to Site Drainage Layout.

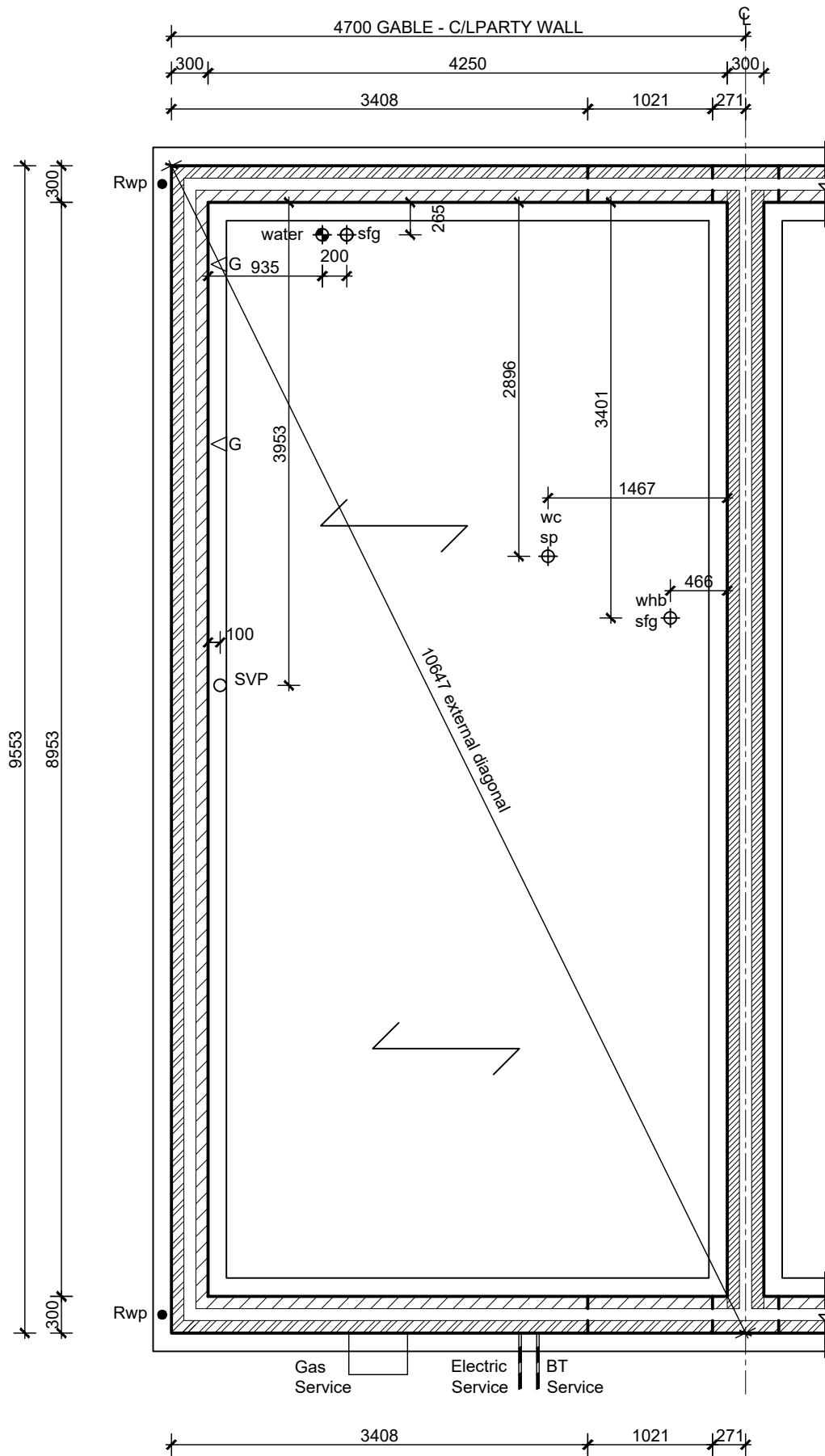
— — — Sleeper blockwork walls below.

**WALL KEY:**

-  Facing Brickwork (Ext Walls - Ext Leaf)
-  Aircrete Blockwork - refer to specification for block strength (Ext Walls - Int leaf & Int Walls)
-  Medium density or Aircrete Blockwork (Party Walls) refer to specification for block strength

 Denotes direction for NuSpan floor to span.

**THIS FOUNDATION LAYOUT IS ONLY TO BE USED IN CONJUNCTION WITH THE APPROVED NUSPAN DESIGN.**



SH50-E-7 (as)

TOTAL FLOOR AREA : 76.1 m2 / 819 Sq ft

Sales Name: .  
 House Type Code: SH50-EH7  
 Spec: AFFORDABLE Drawing No: 06  
 Drawn: GDT Checked: GDT  
 Date: July 2020  
 Scale: 1:50

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**SERVICES S/O PLAN (B&B)**

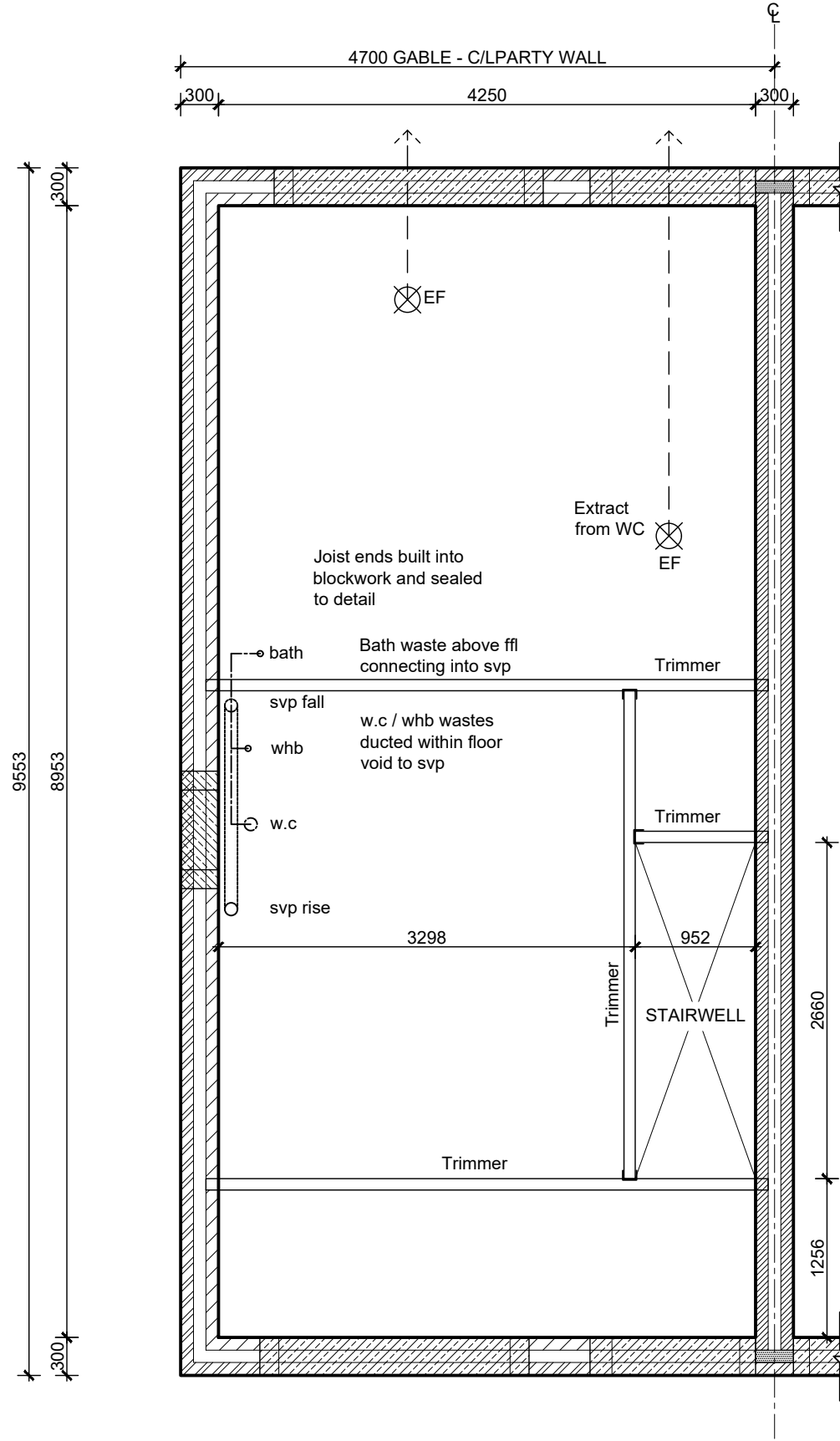
B Refer to Data Sheet for full details

04.02.21



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Waste runs within floor void

Joist ends built into blockwork and sealed to detail

240mm deep joist platform designed by specialist engineered joist manufacturer. For erection refer to manufacturers detailed design

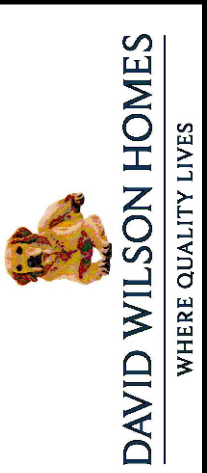
Kitchen extract ducted through floor zone to external wall above W3

W.C extract ducted through floor zone to external wall above centre line of D2

All horizontal waste pipe runs within floor void to be wrapped in 25mm min. sound deadening quilt insulation

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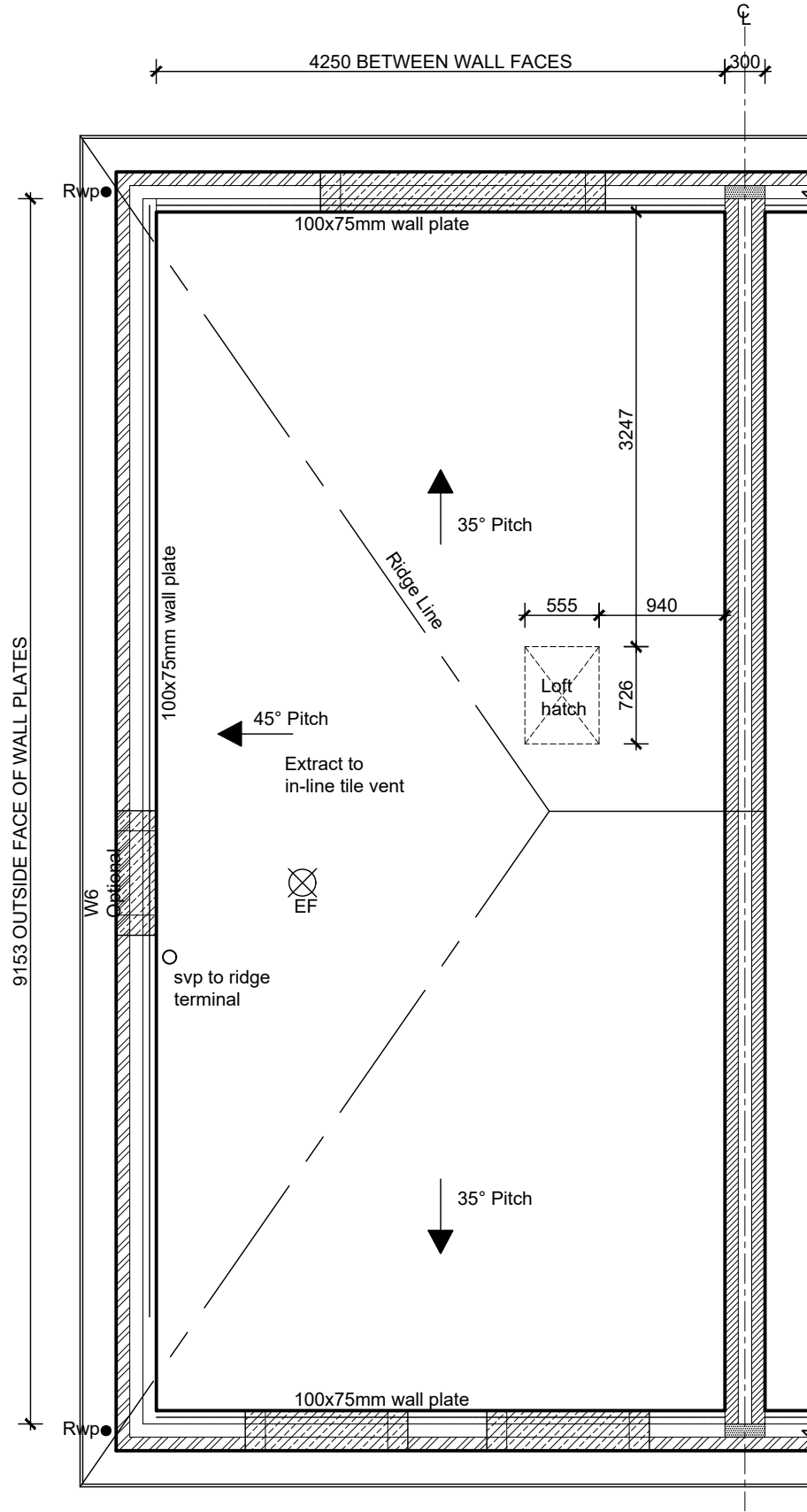
<b>JOIST LAYOUT</b>	
B	Refer to Data Sheet for full details
04.02.21	



TOTAL FLOOR AREA : 76.1 m2 / 819 Sq ft

Sales Name: .  
 House Type Code: SH50-EH7  
 Spec: AFFORDABLE Drawing No: 07  
 Drawn: GDT Checked: GDT  
 Date: July 2020  
 Scale: 1:50

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Deep flow gutters to be used to reduce number of downpipes. Drainage engineer to confirm positions on detached, semi-detached and terraces properties.

Extractor outlets to soffit vents minimum 400mm from openable windows  
 S&VP to tile vents minimum 900mm above eaves level




250mm Ventilated soffit  
 150mm fascia

Trussed rafters at 600mm centres. Ceiling ties, longitudinals, diagonals to be in strict accordance with B.S.5268 part.3 : 1988. Roof plan to specialist design with calculations and full bracing details submitted prior to work.

Layout shown is indicative only and represents basic roof design. Truss types and spacings to specialist design. See specialist details and drawings for exact layout.

5mm continuous ridge ventilation

**WALL KEY:**

-  Facing Brickwork (Ext Walls - Ext Leaf)
-  Aircrete Blockwork - refer to specification for block strength (Ext Walls - Int leaf & Int Walls)
-  Medium density or Aircrete Blockwork (Party Walls) refer to specification for block strength

TOTAL FLOOR AREA : 76.1 m2 / 819 Sq ft

Sales Name: .

House Type Code: SH50-EH7

Spec: AFFORDABLE Drawing No: 08

Drawn: GDT Checked: GDT

Date: July 2020

Scale: 1:50

**ROOF PLAN**

C Refer to Data Sheet for full details

04.02.21

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For bulkhead timber sizes refer to standard detail

Stormking or similar approved GRP canopy (min 900mm width x 600mm depth)

**STAIRCASE NOTES:**  
 13 No. risers at 199mm  
 12 No. goings at 222mm  
 Stair pitch max 42°

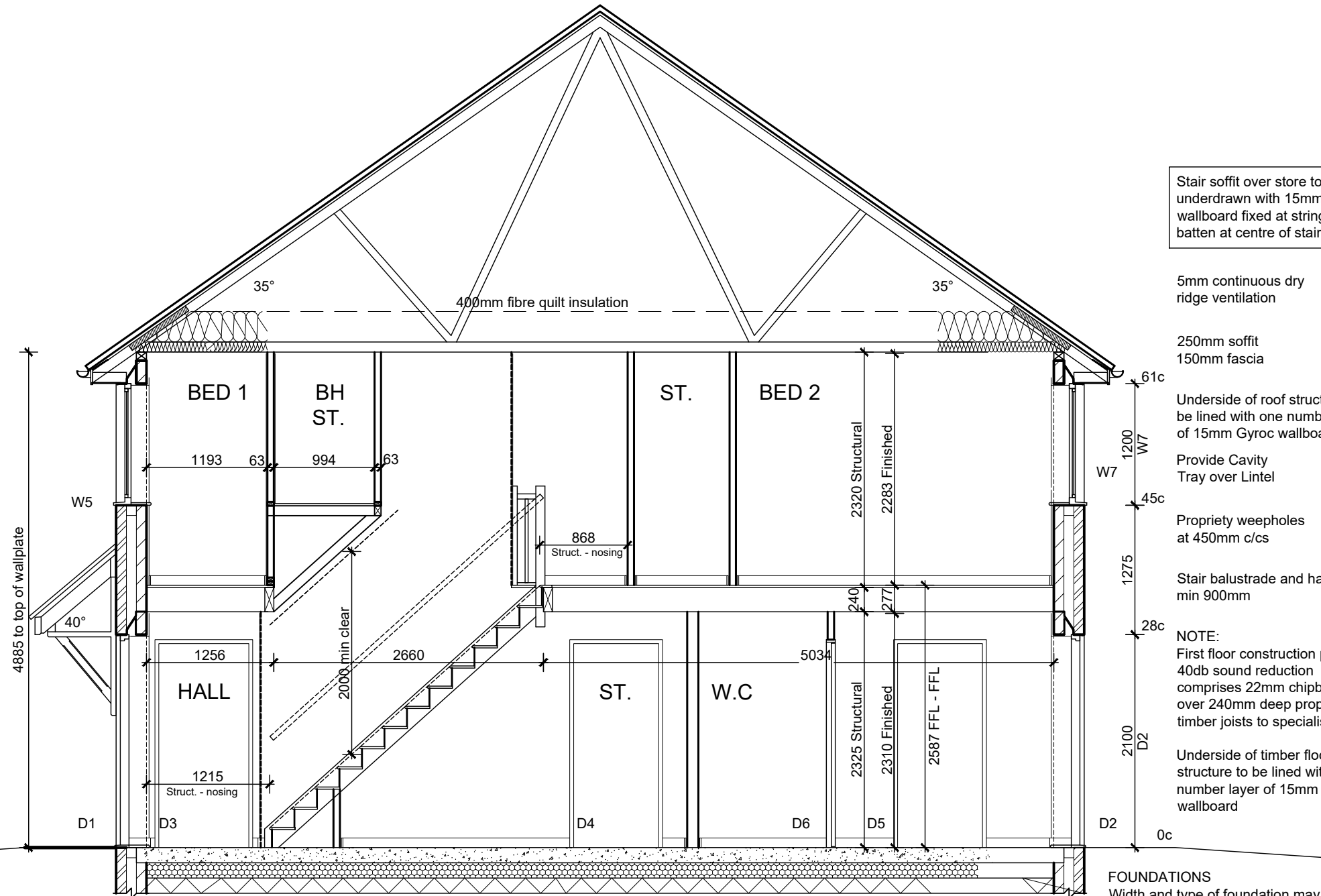
Principle Front and Alternative Rear Entrance doors Min. clear opening 850mm in accordance with Approved Document Part M Category 2

1200 x 1200mm minimum level platform to front principle entrance OR rear alternative entrance (where step free approach cannot be reasonably achieved to the front principle entrance).

All external doors to have accessible thresholds with max. 15mm upstands (refer to standard detail).

Weather protection provided by Canopy over front principle entrance OR rear alternative entrance (where step free approach cannot be reasonably achieved to the front principle entrance). Min. Canopy width of 900mm and Min. depth of 600mm.

Entrance Approach route min.900mm width (max. gradient 1 in 20) to comply with Approved Document Part M Category 2.



**SECTION A-A**

Stair soffit over store to be underdrawn with 15mm wallboard fixed at strings and batten at centre of stairs

5mm continuous dry ridge ventilation

250mm soffit  
 150mm fascia

Underside of roof structure to be lined with one number layer of 15mm Gyproc wallboard

Provide Cavity Tray over Lintel

Propriety weepholes at 450mm c/cs

Stair balustrade and handrail min 900mm

**NOTE:**  
 First floor construction provides 40db sound reduction comprises 22mm chipboard over 240mm deep proprietary timber joists to specialist design

Underside of timber floor structure to be lined with one number layer of 15mm Gyproc wallboard

**FOUNDATIONS**  
 Width and type of foundation may vary dependant upon ground conditions. For plot specific foundation design, refer to structural engineers information. Depth of foundation to satisfy NHBC requirements and to be agreed on site with BCO

**SECTION A-A**

Date:	04.02.21
.Rev:	C
Refer to Data Sheet for full details	

























**WARNING TO HOUSE PURCHASERS:**  
 Buyers are warned that this is a working drawing and the contents of this drawing may be subject to change during the progress of the build process. The layout, form, content and dimensions specified are included for general guidance only. The finishes or features shown may alter in respect of individual properties. Whilst we make every effort to ensure our drawings are up to date there may be changes in regulations and/or re-planning. Purchasers are advised to check with the Sales Adviser whether any alterations have been made to this drawing. The contents of this drawing do not constitute a contract, part of any contract or warranty unless specifically incorporated into the contract. They should not be relied upon for the purposes of entering into a contract to purchase any property.

Sales Name:	
House Type Code:	SH50-EH7
Spec:	AFFORDABLE
Drawn:	GDT
Checked:	GDT
Date:	July 2020
Scale:	1:50

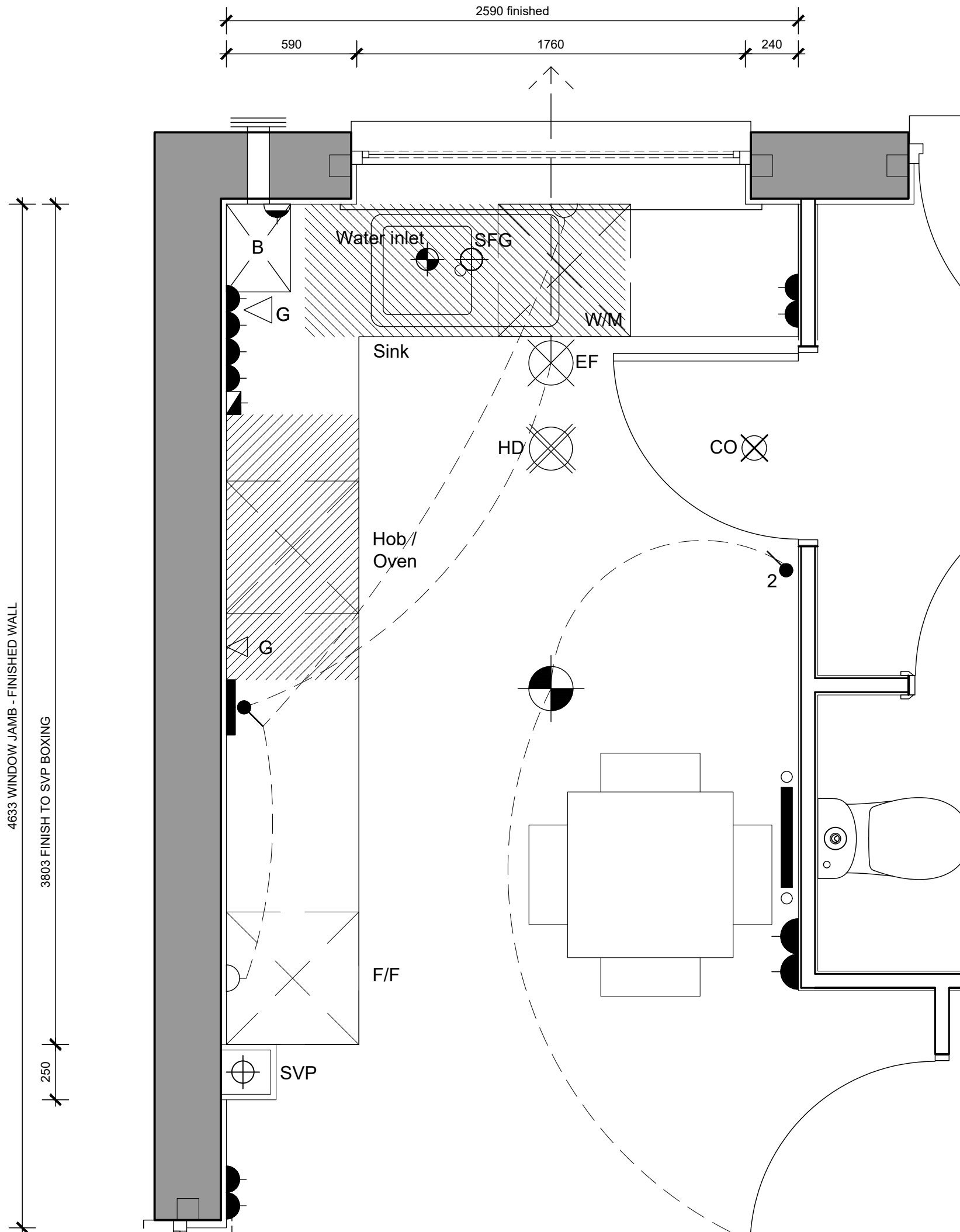
TOTAL FLOOR AREA : 76.1 m2 / 819 Sq ft



ALL DRAWINGS ARE COMPLIANT UPTO & INCLUDING OCTOBER 2015 BUILDING REGULATIONS UPDATES. THESE DRAWINGS ARE DESIGNED TO AD M CATEGORY 2.

-  Oven and Hob panel
-  Double socket outlet
-  Low level socket
-  Cooker hood or Boiler point
-  Lightswitch
-  Lightswitch - 2 way
-  Multi Switch panel (to all appliances)
-  Switch with low level socket
-  Fluorescent Strip light fitting
-  Pendant light fitting with Low Energy bulb
-  TV point
-  Telephone point
-  Consumer unit
-  Ceiling mounted extract fan
-  Wall mounted extract fan
-  Smoke Detector
-  Carbon Monoxide Detector.  
To wall - located above the height of any door or window min 150mm from ceiling.  
To Ceiling - located min 300mm from any wall.
-  Heat Detector
-  Sealed floor gully
-  Soil vent pipe
-  Boiler
-  Gas point
-  Water inlet
-  Denotes shaded 300mm zone. No electric sockets etc above worktop to be placed within this zone

NOTE:- REFER TO KITCHEN MANUFACTURERS DRAWINGS AND SPECIFICATION FOR ACCURATE INSTALLATION DETAILS



TOTAL FLOOR AREA : 76.1 m2 / 819 Sq ft

Sales Name: .

House Type Code: SH50-EH7

Spec: AFFORDABLE Drawing No: 10

Drawn: GDT Checked: GDT

Date: July 2020

Scale: 1:20

KITCHEN LAYOUT

Refer to Data Sheet for full details

04.02.21

B

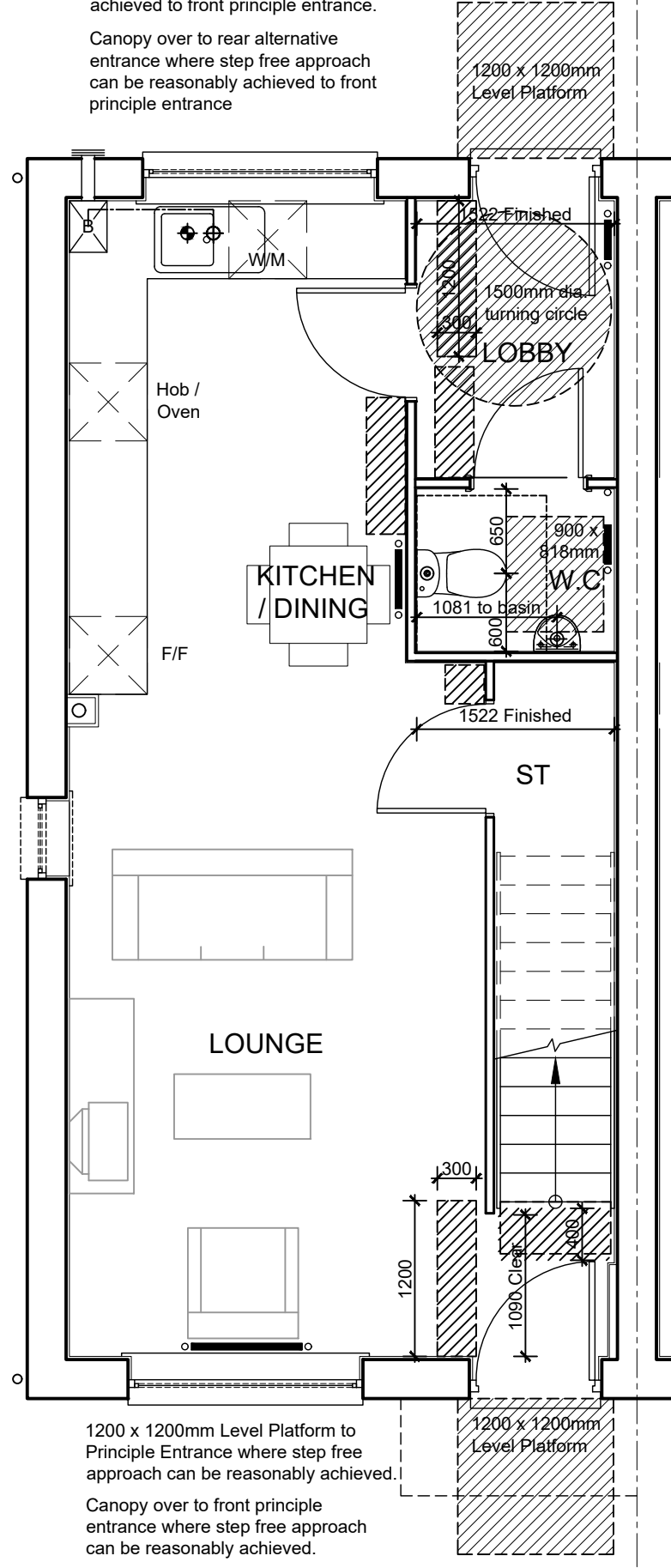
**WARNING TO HOUSE PURCHASERS:**  
Buyers are warned that this is a working drawing and the contents of this drawing may be subject to change during the progress of the build process. The layout, form, content and dimensions specified are included for general guidance only. The finishes or features shown may alter in respect of individual properties. Whilst we make every effort to ensure our drawings are up to date there may be a delay in updating the drawings to reflect the actual construction. It is the responsibility of the Purchaser to check the drawings in relation to the actual construction. The Purchaser should refer to the Sales Agreement for any alterations that have been made to this drawing. The contents of this drawing do not constitute a contract. Part of any contract or warranty unless specifically incorporated into the contract. They should not be relied upon for the purposes of entering into a contract to purchase any property.



DAVID WILSON HOMES  
WHERE QUALITY LIVES

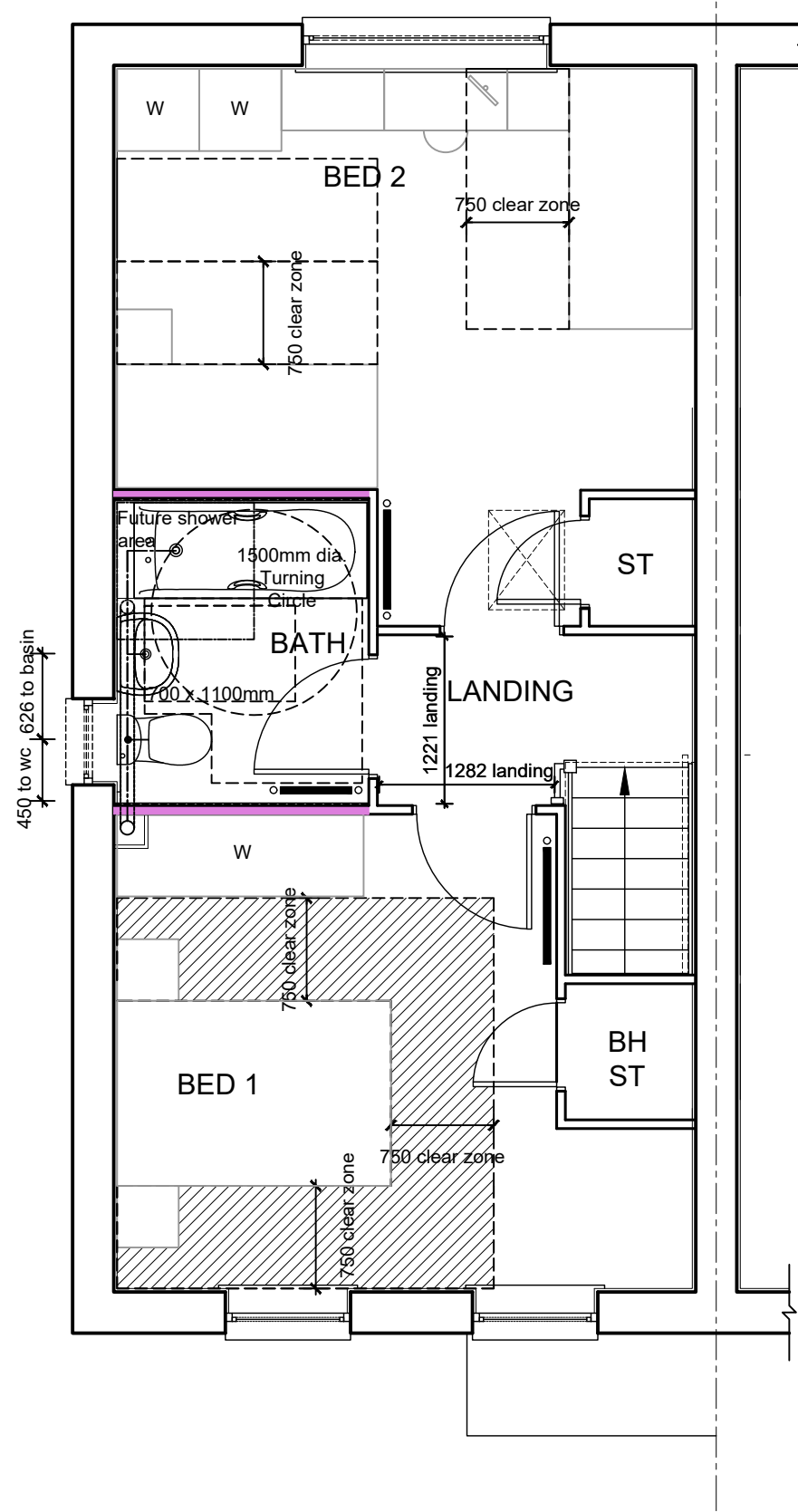
ALL DRAWINGS ARE COMPLIANT UPTO & INCLUDING OCTOBER 2015 BUILDING REGULATIONS UPDATES. THESE DRAWINGS ARE DESIGNED TO AD M CATEGORY 2.

1200 x 1200mm Level platform to rear alternative entrance where step free approach cannot be reasonably achieved to front principle entrance.  
 Canopy over to rear alternative entrance where step free approach can be reasonably achieved to front principle entrance



**GROUND FLOOR PLAN**

1200 x 1200mm Level Platform to Principle Entrance where step free approach can be reasonably achieved.  
 Canopy over to front principle entrance where step free approach can be reasonably achieved.



**FIRST FLOOR PLAN**

TOTAL FLOOR AREA : 76.1 m2 / 819 Sq ft

Sales Name: .

House Type Code: SH50-EH7

Spec: AFFORDABLE Drawing No: 11

Drawn: GDT Checked: GDT

Date: July 2020

Scale: 1:50

**WARNING TO HOUSE PURCHASERS:**  
 Buyers are warned that this is a working drawing and the contents of this drawing may be subject to change during the progress of the build process. The layout, form, content and dimensions specified are included for general guidance only. The finishes or features shown may alter in respect of individual properties. Whilst we make every effort to ensure our drawings are up to date there may be an unforeseen delay in updating the drawings to the latest in regulations for an individual property. Please refer to the Sales Representative for any alterations that have been made to this drawing. The contents of this drawing do not constitute a contract. Part of any contract or warranty unless specifically incorporated into the contract. They should not be relied upon for the purposes of entering into a contract to purchase any property.

Part M(2) Compliance

A Refer to Data Sheet for full details

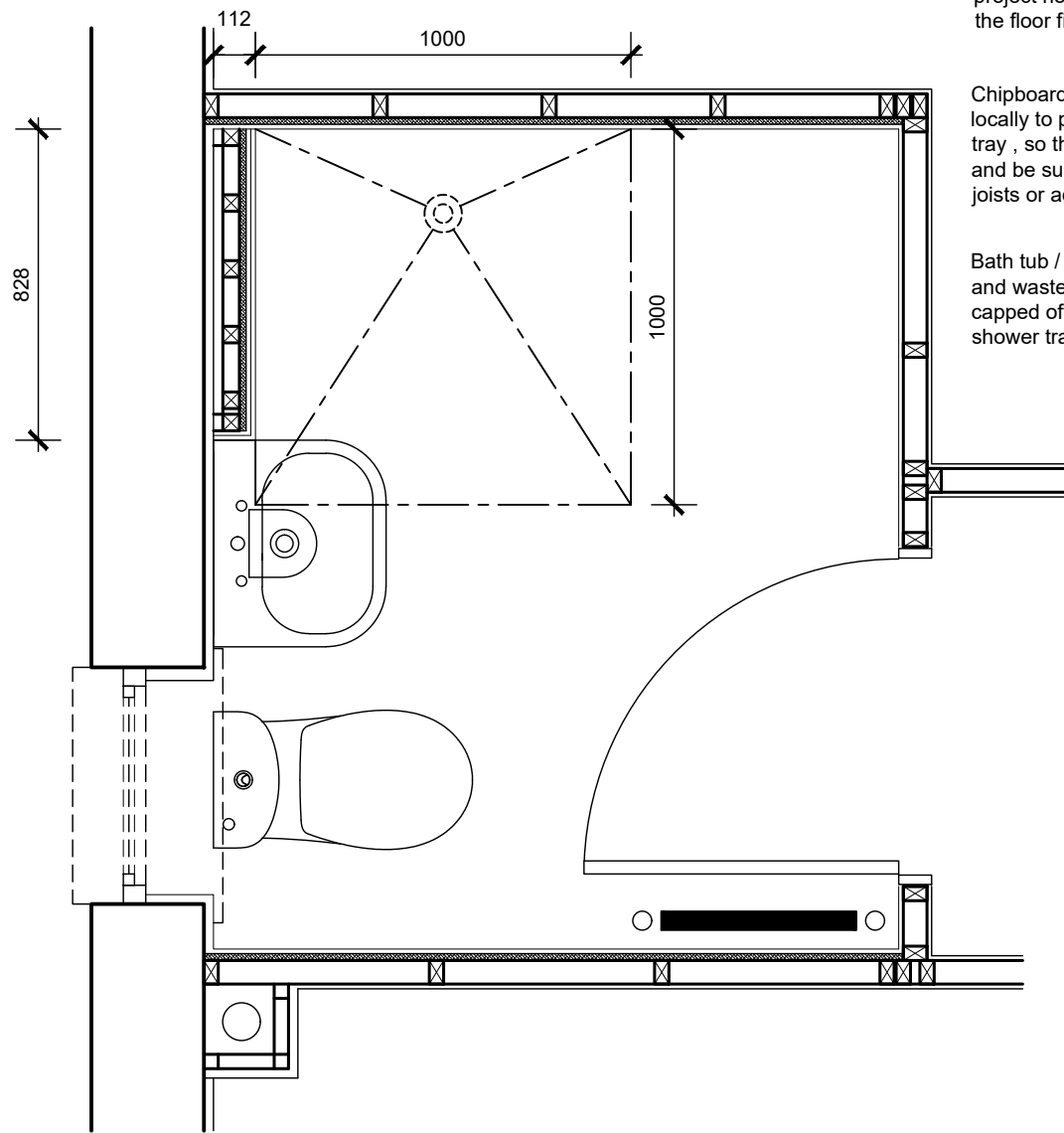
04.02.21



**DAVID WILSON HOMES**  
 WHERE QUALITY LIVES

ALL DRAWINGS ARE COMPLIANT UPTO & INCLUDING OCTOBER 2015 BUILDING REGULATIONS UPDATES. THESE DRAWINGS ARE DESIGNED TO AD M CATEGORY 2.

Provide boxing out for future shower to remove the need to chase external wall for water supply pipes. Form boxing out in 44x44mm C16 studs at 175mm c/c's max. on 18mm thick Coniferous sheathing ply to Wet Room side of svp boxing out where indicated by dashed line (for fixing of future grab rails). Designed for 0.85kN/m<sup>2</sup> loading.

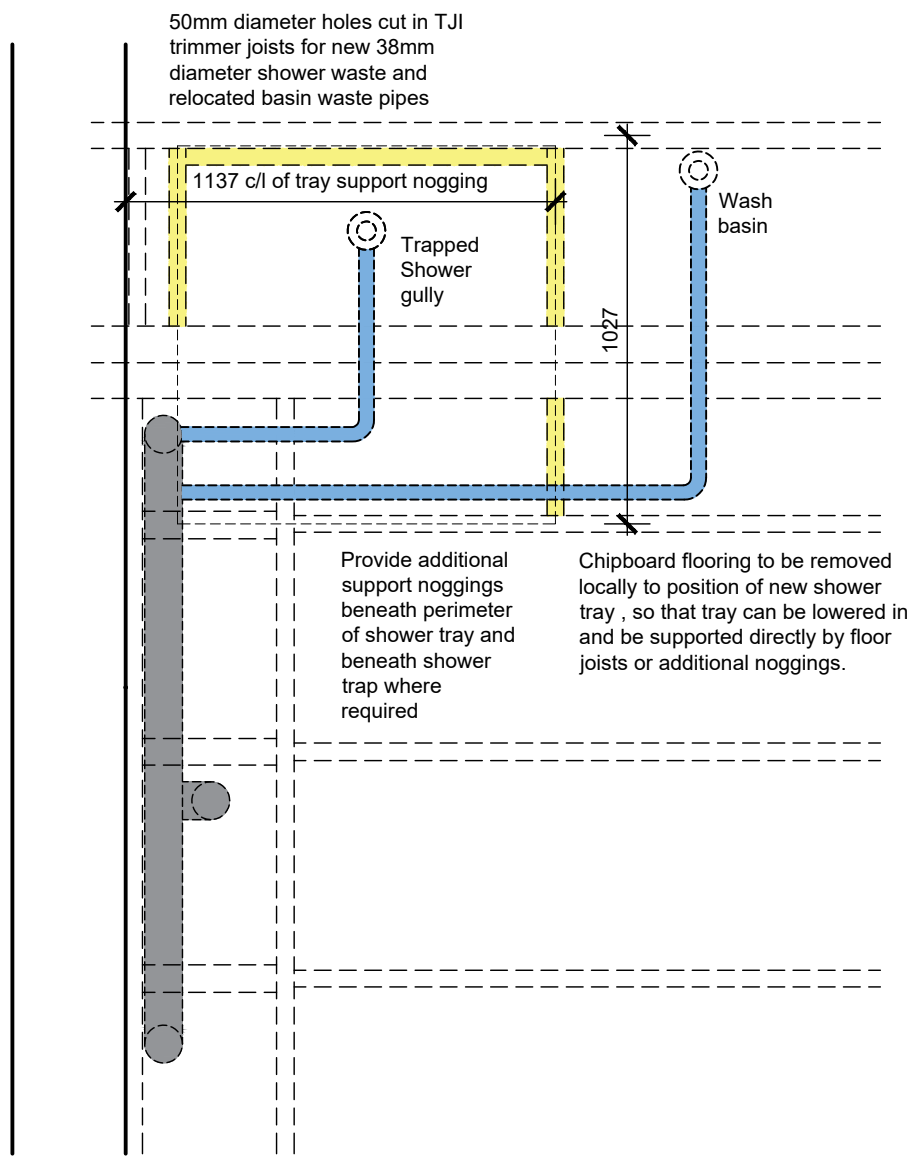


**FUTURE SHOWER FACILITATION  
FIRST FLOOR BATHROOM PLAN  
SCALE 1:20**

Top of shower tray to either finish level with proposed floor finish or project no more than 15mm above the floor finish.

Chipboard flooring to be removed locally to position of new shower tray, so that tray can be lowered in and be supported directly by floor joists or additional noggings.

Bath tub / waste pipe to be removed and waste connection to soil pipe capped off prior to installation of shower tray



**FUTURE SHOWER FACILITATION  
JOIST / SERVICES LAYOUT  
SCALE 1:20**

TOTAL FLOOR AREA : 69.7 m<sup>2</sup> / 750 Sq ft

Sales Name: ????

House Type Code: SH50-EH7

Spec: AFFORDABLE Drawing No: 13

Drawn: GDT Checked: GDT

Date: Oct, 2020

Scale: 1:20

**WARNING TO HOUSE PURCHASERS:**  
Buyers are warned that this is a working drawing and the contents of this drawing may be subject to change during the progress of the build process. The layout, form, content and dimensions specified are included for general guidance only. The finishes or features shown may alter in respect of individual properties. Whilst we make every effort to ensure our drawings are up to date there may be from time to time be an unavoidable delay in updating these due to changes in regulations and/or re-planning. Purchasers are advised to check with the Sales Adviser whether any alterations have been made to this drawing. The contents of this drawing do not constitute a contract, part of any contract or warranty unless specifically incorporated into the contract. They should not be relied upon for the purposes of entering into a contract to purchase any property.

**Future Shower Facilitation**

Rev: Refer to Data Sheet for full details

Date: