

Core House Type Working Drawings -

- : Elevations Rev C
- : Ground Floor Plan Rev C
- : First Floor Plan Rev B
- : Services S/O Plan B&B Rev C
- : FF Joist Layout Rev A
- : Roof Layout Rev B
- : Section A-A Rev B
- : Kitchen Plan - Gold Rev -
- : WC Layout AD M CAT 1 Rev -

Detailed Revision Description

- | Rev | Description |
|-----|--|
| 00 | Bespoke drawing for Dunmore Road, based on the group type SH76-E-7 DS00. Plot no's added.

House lengthened by 40mm to comply with S106 requirements. Deepflow gutters noted. Window sash horns removed from elevations. Buttress wall added |
| 01 | Ground floor construction updated. External door height updated on schedule. Bath partition updated. Escape windows updated. Front door amended to 944mm structural

CONSTRUCTION ISSUE |

HTV CODE:
SH86-E-7 DR00

For Electric vehicle charging location refer to drawing H7787-007

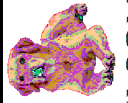
THIS DRAWING IS COMPLIANT WITH 2013 & 2015 BUILDING REGULATIONS

SH76-EG7
PLOT NUMBERS:

AS: 199
OPP: 194

Dunmore Rd
Ph1

TOTAL FLOOR AREA : 1041sqft / 96.76msq

 <p>DAVID WILSON HOMES WHERE QUALITY LIVES</p>	
<p>DATA SHEET</p> <p>01 Refer to Data Sheet for full details</p>	<p>04.02.21</p>
<p>WARNING TO HOUSE PURCHASERS: Buyers are warned that this is a working drawing and the contents of this drawing may be subject to change during the progress of the build process. The layout, form, content and dimensions specified are included for general guidance only. The finishes or features shown may alter in respect of individual properties. Whilst we make every effort to ensure our drawings are up to date there may from time to time be an unavoidable delay in updating these due to changes in regulations and/or re-planning. Purchasers are advised to check with the Sales Adviser whether any alterations have been made to this drawing. The contents of this drawing do not constitute a contract, part of any contract or warranty unless specifically incorporated into the contract. They should not be relied upon for the purposes of entering into a contract to purchase any property.</p>	
<p>Sales Name: .</p> <p>House Type Code: SH76-EG7</p> <p>Spec: SOCIAL Drawing No: --</p> <p>Drawn: SH Checked: SH</p>	<p>Date: Oct 2018</p> <p>Scale: NTS</p>

Windows:

All upper floor windows to be provided with lockable window handles on non secure be design sites

Part Q:

For windows at ground floor and accessible windows above canopies ETC

* Toughened & clear

** Toughened & obscure

Q = Part Q compliance windows

Extract fan locations drawn to comply with zero-plotting, where HTs are not zero-plotted extracts should be taken through wall or shortest route

5mm continuous ridge ventilation

150mm fascia
250mm soffit

Cavity tray & code 4 lead flashing to all abutment

Stormking or similar approved GRP canopy (min 900mm width x 600mm depth)

Window handle to W1 to be positioned between 450 and 1200mm above ffl. All other windows handles to be positioned between 450 and 1400mm above ffl.

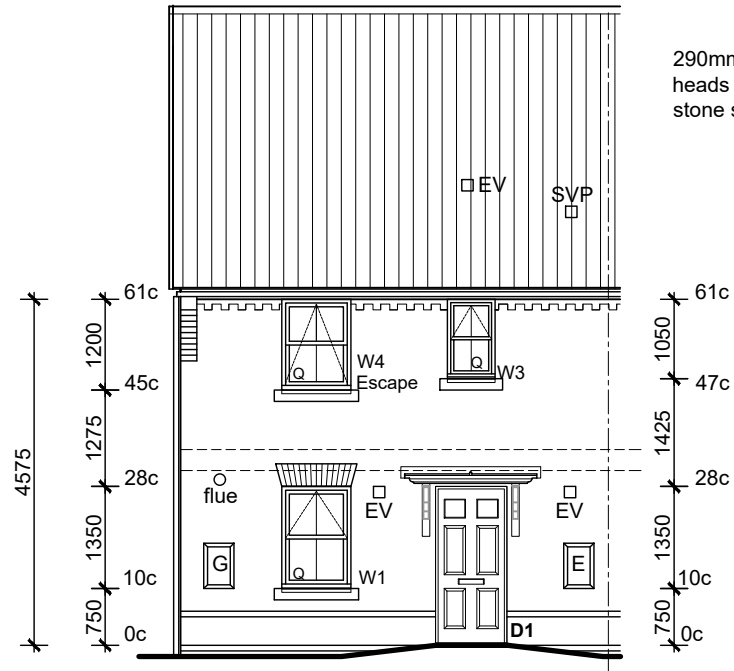
1 course contrasting brick stretcher band projecting 15mm, beneath W1 cill to front elevation with 440mm returns to gable

1 course contrasting brick stretcher feature band projecting 15mm, above and beneath rear windows

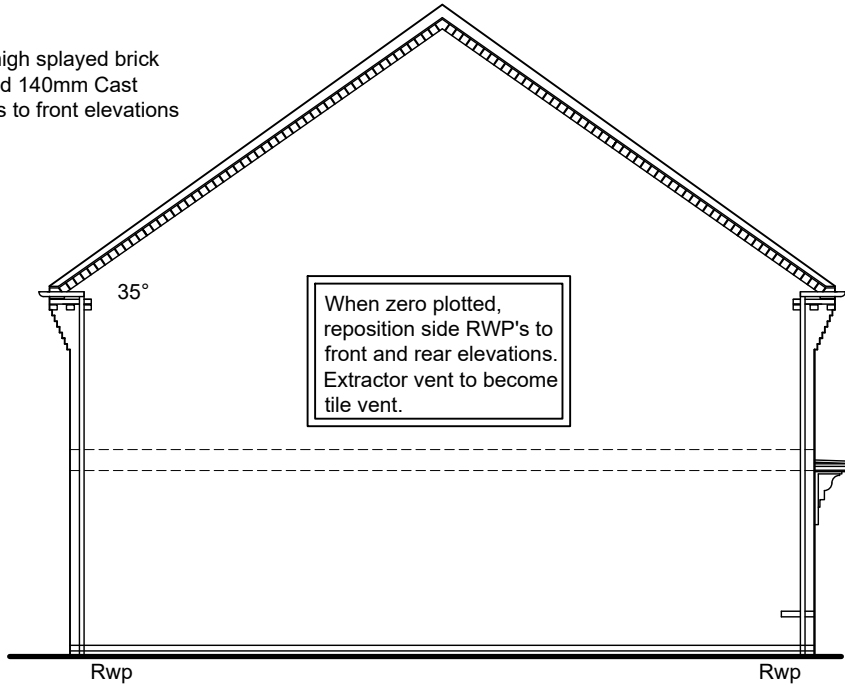
Deepflow gutters to be used to minimise downpipe provision

290mm high splayed brick heads and 140mm Cast stone sills to front elevations

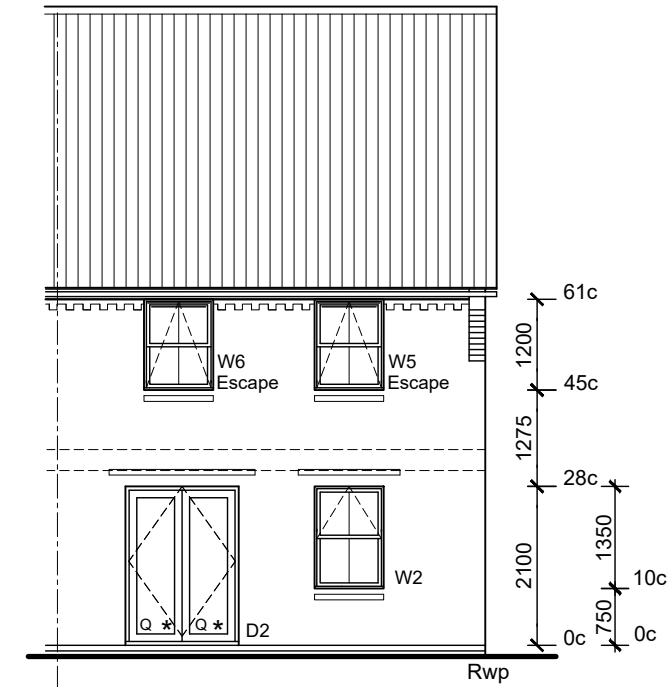
When zero plotted, reposition side RWP's to front and rear elevations. Extractor vent to become tile vent.



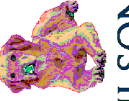
FRONT ELEVATION



SIDE ELEVATION



REAR ELEVATION



DAVID WILSON HOMES
WHERE QUALITY LIVES

ELEVATIONS

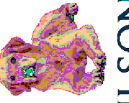
C Refer to Data Sheet for full details 04.02.21

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Sales Name: .
House Type Code: SH76-EG7
Spec: SOCIAL Drawing No: 01 Date: Oct. 2018
Drawn: SH Checked: SH Scale: 1:100

TOTAL FLOOR AREA : 1041sqft / 96.76msq

THIS DRAWING IS COMPLIANT WITH
2013 & 2015 BUILDING REGULATIONS



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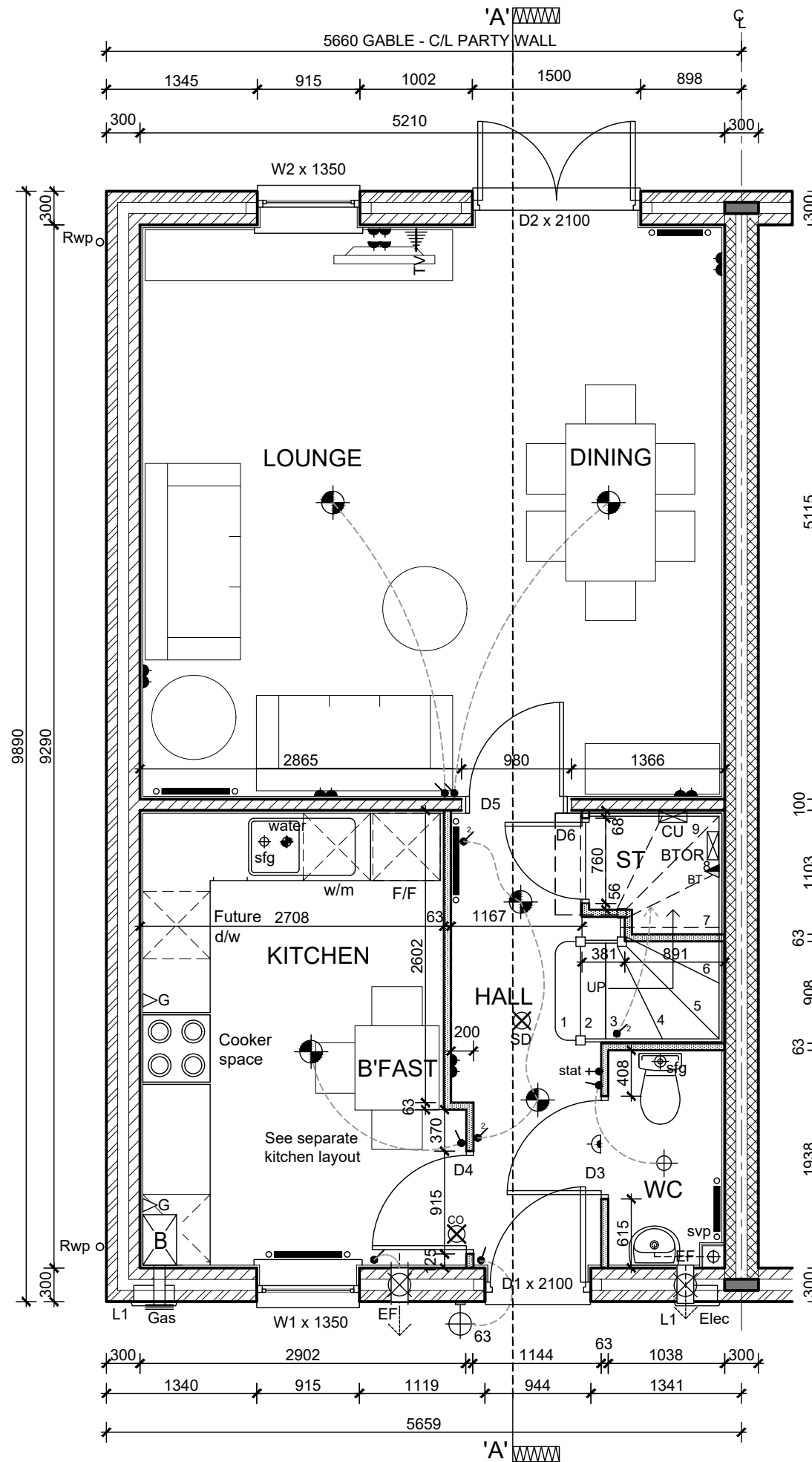
ELECTRICAL SYMBOLS KEY

- EF Ceiling mounted extract fan
- EF Wall mounted extract fan
- SD Smoke Detector
- CO Carbon Monoxide Detector.
To wall - located above the height of any door or window min 150mm from ceiling.
To Ceiling - located min 300mm from any wall.
- HD Heat Detector
- Shaver socket outlet
- im Immersion switch
- G Gas point
- Double socket outlet
- Fluorescent Strip light fitting
- Pendant light fitting with Low Energy bulb
- Batten light fitting with Low Energy bulb
- IPX4 batten light fitting with Low Energy bulb
- Wall mounted light fitting with Low Energy bulb
- TV TV point
- BT Telephone point
- CU Consumer unit - fixed 1350mm - 1450mm from FFL
- BTOR BT Open Reach Location - Refer to Trade Specification if to be utilised on site.
- Lightswitch
- Lightswitch - 2 way
- Extract Fan isolator switch with 'FAN' label/symbol @ H.L. centred above door
- Thermostat
- Media Plate

DOOR SCHEDULE				
Door Ref	Door Size (widthxheight)	Door weight(kg)	Lintol Ref (kg)	Fire Door
D1	838 x 2013mm	60	L1/S 100 1350 (8.93)	No
D2	1500 x 2100	N/A	L1/S 100 1800 (14.02)	No
D3	838 x 1981mm	16.2	N/A	No
D4	838 x 1981mm	16.2	N/A	No
D5	838 x 1981mm	16.2	N/A	No
D6	610 x 1981mm	10.5	N/A	No

WINDOW SCHEDULE			
Window Ref	Struct opening (widthxheight)	Lintol Ref (kg)	Fire Escape
W1	915 x 1350mm	L1/S 100 1200 (7.15)	No
W2	915 x 1350mm	L1/S 100 1200 (7.15)	No

OTHER OPENINGS	
L1	Meter Box Support - Meter Box Lintels - 0750 (2.21) x2

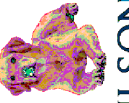


- Extract vent from cooker hood.
- SVP with 2 layers of 12.5mm plasterboard packed with quilt.
- RWP positions may differ from that shown. For actual location refer to site specific drainage layout.
- Level threshold to Part M 2004 as Standard Detail.
- Level approach to front entrance max gradient 1:20 min 900mm with (Part M 2004)
- 15mm Gyproc plasterboard to underside of stairs for fire protection
- Boiler flue outlet to be min 300mm from door/window opening
- Electric and Gas meter box to be wall mounted
- Sockets, switches, stopcocks and controls to be positioned a min 300mm horizontally from an inside corner.

WALL KEY

- Facing Brickwork (Ext Walls - Ext Leaf)
- Aircrete Blockwork Refer to Specification for block strength (Ext Walls)
- Medium Density or Aircrete Blockwork (Party Walls) Refer to Specification to block strength
- Acoustic insulation to timber stud partitions

TOTAL FLOOR AREA : 1041sqft / 96.76msq



04.02.21

FIRST FLOOR PLAN
Refer to Data Sheet for full details

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Sales Name: .
House Type Code: SH76-EG7
Spec: SOCIAL Drawing No: 04
Drawn: SH Checked: SH Date: Oct 2018 Scale: 1:50

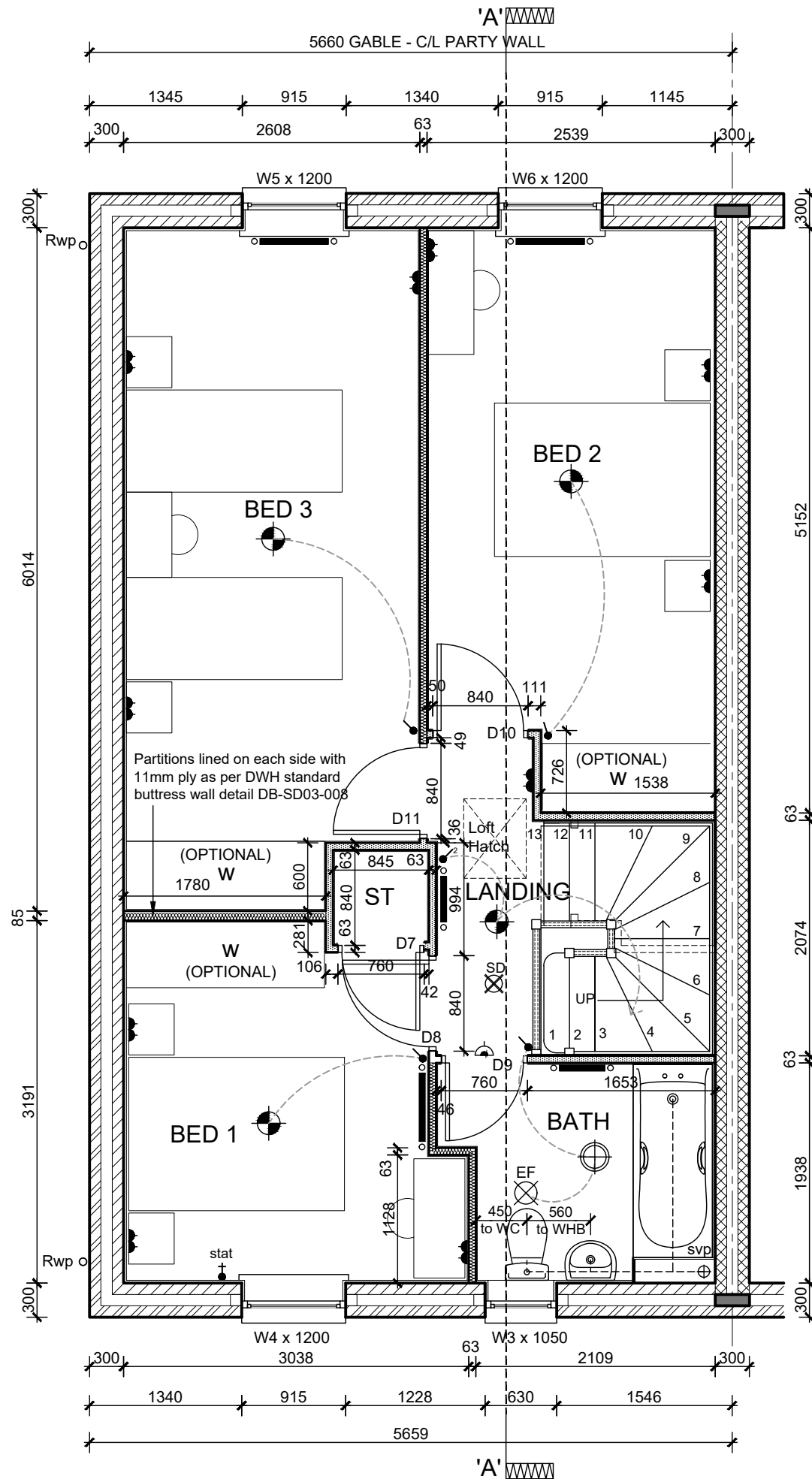
ELECTRICAL SYMBOLS KEY

- EF Ceiling mounted extract fan
- EF Wall mounted extract fan
- SD Smoke Detector
- CO Carbon Monoxide Detector.
To wall - located above the height of any door or window min 150mm from ceiling.
To Ceiling - located min 300mm from any wall
- HD Heat Detector
- Shaver socket outlet
- im Immersion switch
- G Gas point
- Double socket outlet
- Fluorescent Strip light fitting
- Pendant light fitting with Low Energy bulb
- Batten light fitting with Low Energy bulb
- IPX4 batten light fitting with Low Energy bulb
- Wall mounted light fitting with Low Energy bulb
- TV TV point
- BT Telephone point
- CU Consumer unit - fixed 1350mm - 1450mm from FFL
- BTOR BT Open Reach Location - Refer to Trade Specification if to be utilised on site.
- Lightswitch
- Lightswitch - 2 way
- Extract Fan isolator switch with 'FAN' label/symbol @ H.L. centred above door
- Thermostat
- Media Plate

DOOR SCHEDULE				
Door Ref	Door Size (widthxheight)	Door weight(kg)	Lintol Ref (kg)	Fire Door
D7	686 x 1981mm	12.5	N/A	No
D8	762 x 1981mm	17.0	N/A	No
D9	686 x 1981mm	12.5	N/A	No
D10	762 x 1981mm	17.0	N/A	No
D11	762 x 1981mm	17.0	N/A	No

WINDOW SCHEDULE			
Window Ref	Struct opening (widthxheight)	Lintol Ref (kg)	Fire Escape
W3	630 x 1050mm	L1/E 100 0900 (6.30)	No
W4	915 x 1200mm	L1/E 100 1200 (8.40)	Yes
W5	915 x 1200mm	L1/E 100 1200 (8.40)	Yes
W6	915 x 1200mm	L1/E 100 1200 (8.40)	Yes

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Stair balustrade and handrail min 900mm.

SVP with 2 layers of 12.5mm plasterboard packed with quilt.

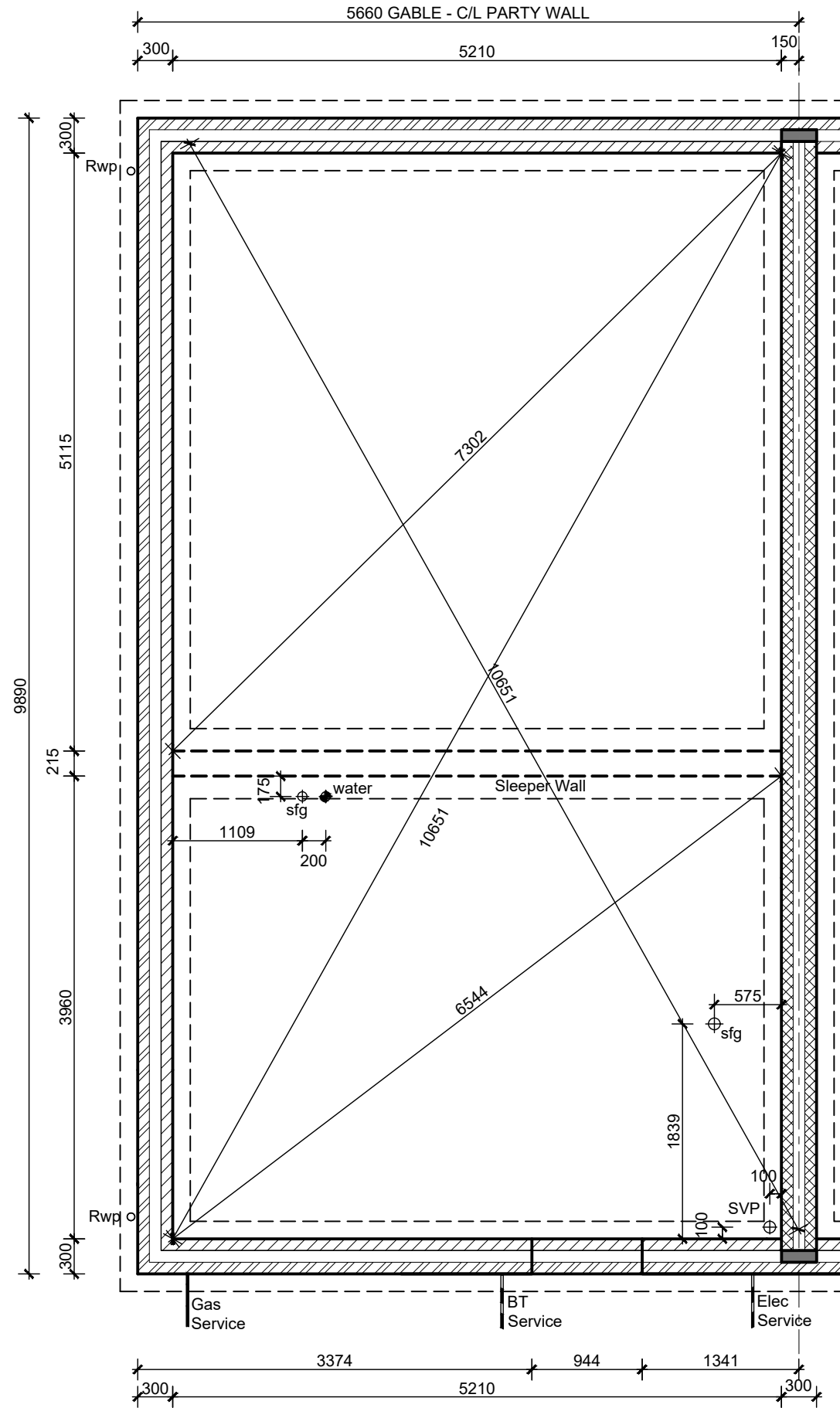
RWP positions may differ from that shown. For actual location refer to site specific drainage layout.

WALL KEY

- Facing Brickwork (Ext Walls - Ext Leaf)
- Aircrete Blockwork Refer to Specification for block strength (Ext Walls)
- Medium Density or Aircrete Blockwork (Party Walls) Refer to Specification to block strength
- Acoustic insulation to timber stud partitions

TOTAL FLOOR AREA : 1041sqft / 96.76msq

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2013 & 2015 BUILDING REGULATIONS



FOUNDATIONS

Foundation widths / type are indicative only. Refer to Structural Engineers' Foundation and B & B Design for detailed information.

For plot specific Foundation Design refer to Site Structural Engineers' information.

Depth of foundation to satisfy NHBC requirements and to be agreed on site with approved inspector.

Rwp positions may differ from those shown. For actual location refer to Site Drainage Layout.

----- Sleeper blockwork walls below.

WALL KEY:

- Facing Brickwork (Ext Walls - Ext Leaf)
- Aircrete Blockwork - refer to specification for block strength (Ext Walls - Int leaf & Int Walls)
- Medium density or Aircrete Blockwork (Party Walls) refer to specification for block strength

Denotes direction for NuSpan floor to span.

THIS FOUNDATION LAYOUT IS ONLY TO BE USED IN CONJUNCTION WITH THE APPROVED NUSPAN DESIGN.

TOTAL FLOOR AREA : 1041sqft / 96.76msq

Sales Name: .

House Type Code: SH76-EG7

Spec: SOCIAL Drawing No: 05

Drawn: SH Checked: SH

Date: Oct 2018

Scale: 1:50

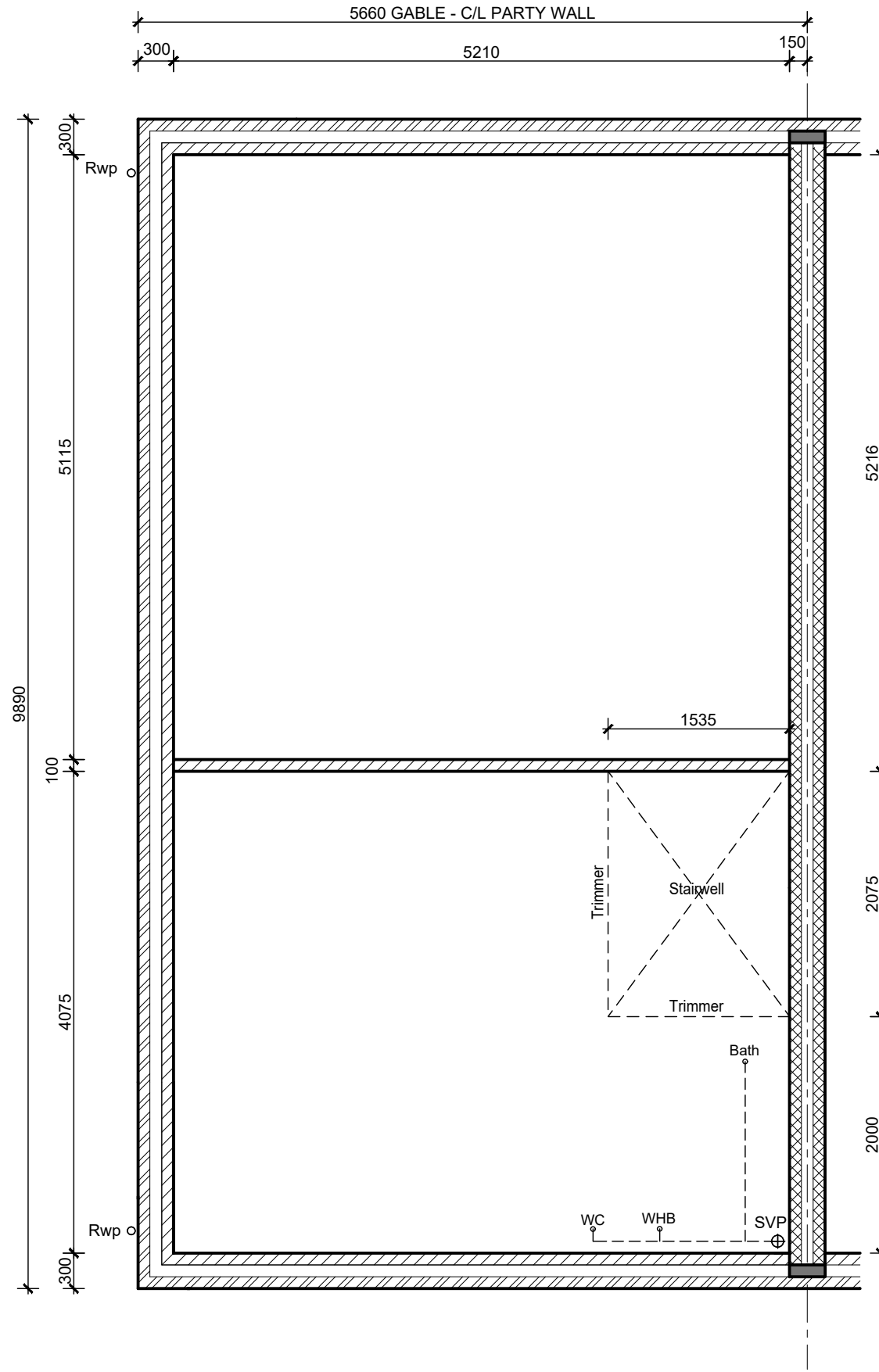
SERVICES S.O. PLAN B&B

B Refer to Data Sheet for full details

04.02.21

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Waste runs within floor void

All horizontal waste pipe runs within floor void to be wrapped in 25mm min sound deadening quilt insulation

Joist ends built into blockwork and sealed to detail




240mm deep joist platform designed by specialist engineered joist manufacturer. For erection refer to joist manufacturer's detail design.

All horizontal waste pipe runs within floor void to be wrapped in 25mm min. sound deadening quilt insulation

240mm deep joist platform designed by specialist engineered joist manufacturer. For erection refer to joist manufacturer's detail design.

Joist ends built into blockwork and sealed to de

WALL KEY

-  Facing Brickwork (Ext Walls - Ext Leaf)
-  Aircrete Blockwork - refer to specification for block strength (Ext Walls - Int leaf & Int Walls)
-  Medium density or Aircrete Blockwork (Party Walls) refer to specification for block strength

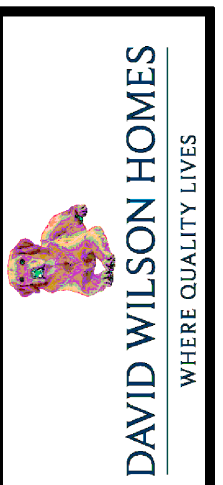
TOTAL FLOOR AREA : 1041sqft / 96.76msq

Sales Name: .
House Type Code: SH76-EG7
Spec: SOCIAL
Drawn: SH
Drawing No: 06
Checked: SH
Date: Oct 2018
Scale: 1:50

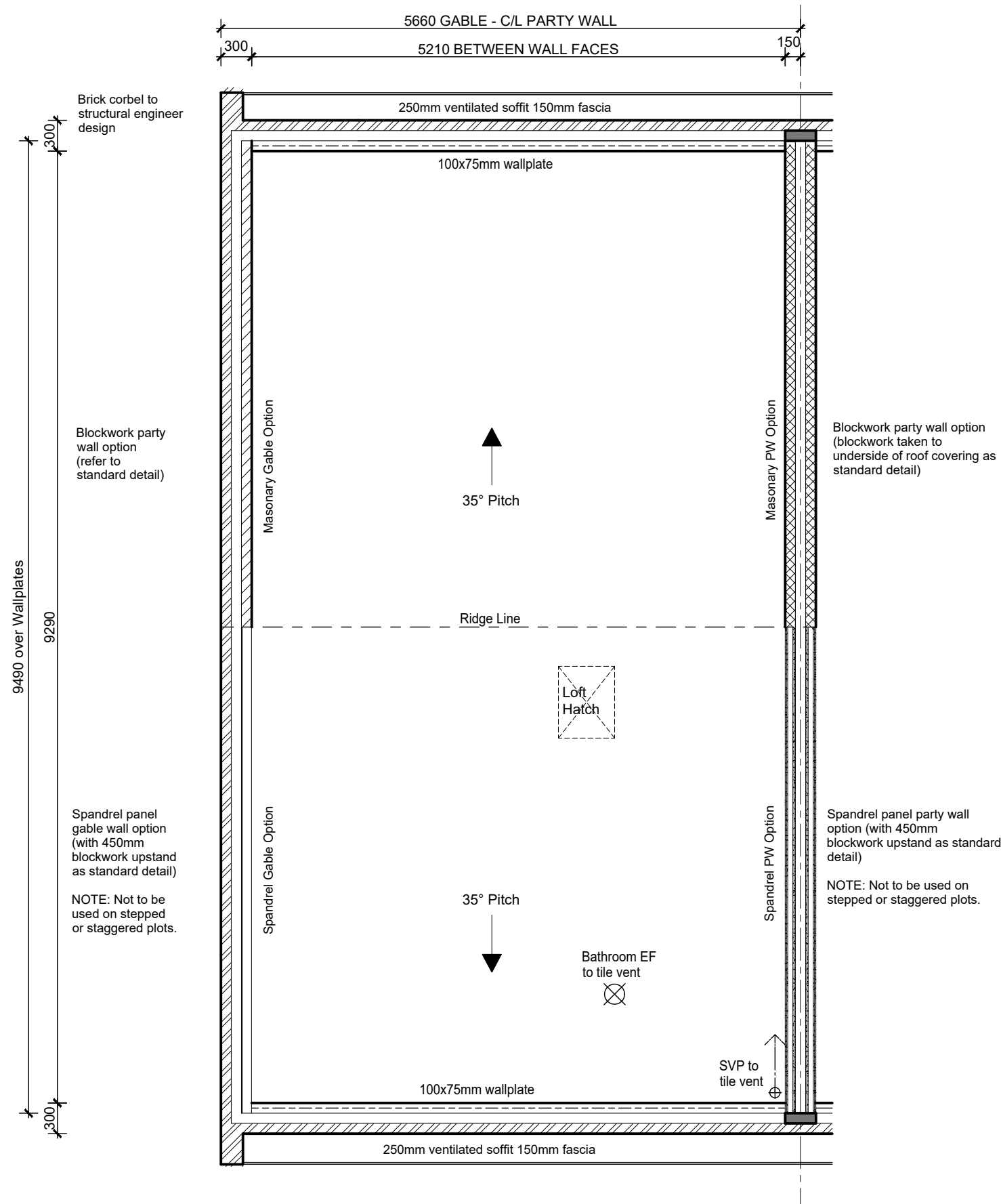
FIRST FLOOR JOIST LAYOUT

A Refer to Data Sheet for full details 13.07.20

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Extractor outlets to soffit vents minimum 400mm from openable windows






S&VP to tile vents minimum 900mm above eaves level

Trussed rafters at 600mm centres.
Ceiling ties, longitudinals, diagonals to be in accordance with B.S.5268 part.3 : 1988. Roof to Specialist design with calculations and full bracing details submitted prior to work

Layout shown is indicative only and represents basic roof design. Truss types and spacings to specialist design. See specialist details and drawings for exact layout

5mm continuous ridge vent

WALL KEY

-  Facing Brickwork (Ext Walls - Ext Leaf)
-  Aircrete Blockwork - refer to specification for block strength (Ext Walls - Int leaf & Int Walls)
-  Medium density or Aircrete Blockwork (Party Walls) refer to specification for block strength
-  Party wall Spandrel - Refer to standard detail
-  Gable wall Spandrel - Refer to standard detail

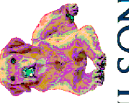
TOTAL FLOOR AREA : 1041sqft / 96.76msq

Sales Name: .
House Type Code: SH76-EG7
Spec: SOCIAL
Drawn: SH
Drawing No: 07
Checked: SH
Date: Oct 2018
Scale: 1:50

ROOF PLAN

B Refer to Data Sheet for full details
24.07.20

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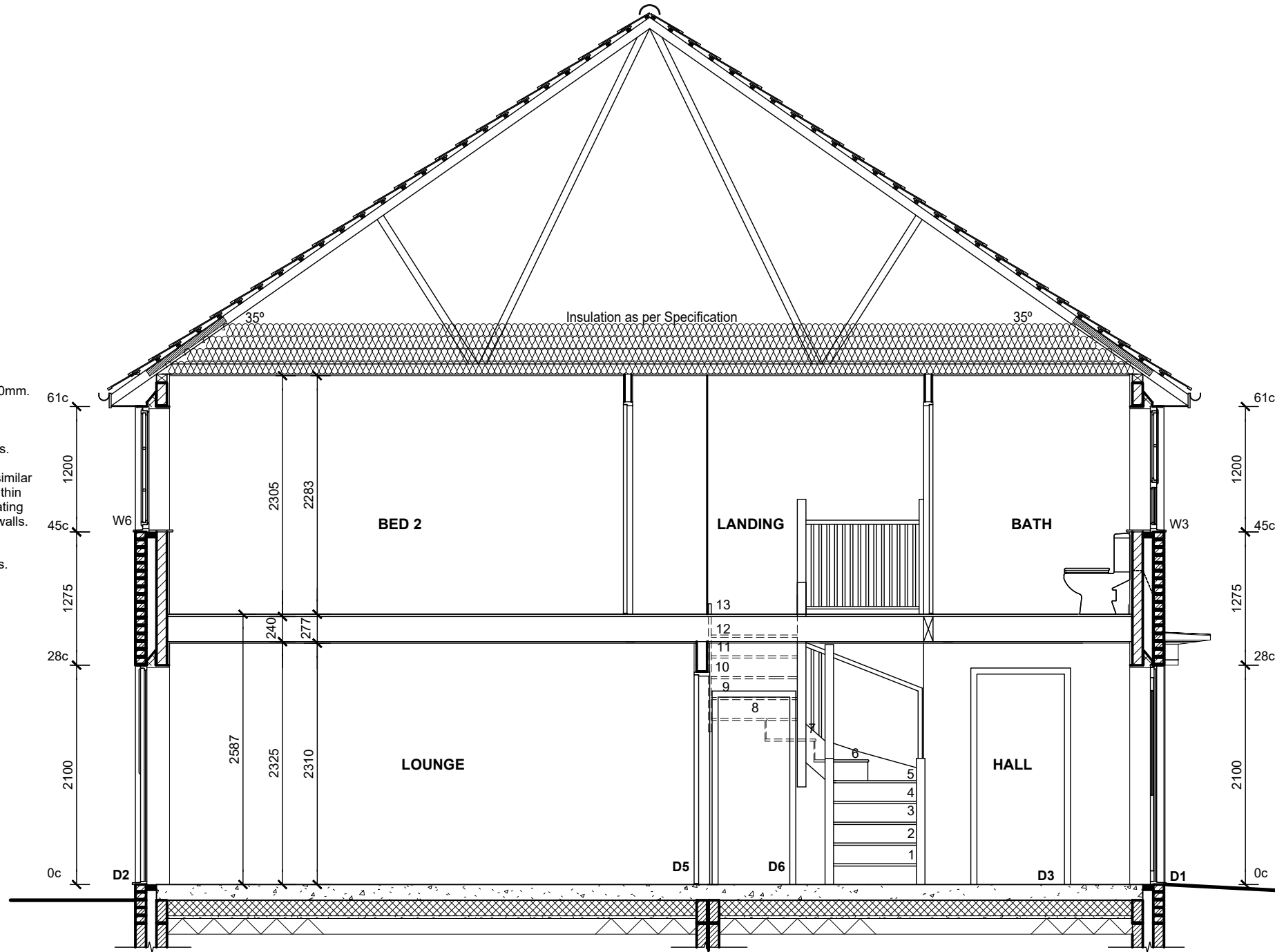
SECTION A-A

B Refer to Data Sheet for full details 24.07.20

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Sales Name: .
House Type Code: SH76-EG7
Spec: SOCIAL
Drawn: SH
Drawing No: 08
Checked: SH
Date: Oct 2018
Scale: 1:50

TOTAL FLOOR AREA : 1041sqft / 96.76msq



FOUNDATIONS
For plot specific foundation design, refer to structural engineers information.
Depth of foundation to satisfy NHBC requirements and to be agreed on site with BCO.

250mm Ventilated soffit
150mm fascia

Stair balustrade and handrail min 900mm.

Provide Cavity Tray over Lintel.

Proprietary weepholes at 450mm c/cs.

ROCKWOOL SP Firestop Slabs' or similar approved cavity barrier to be fixed within wall cavities at all junctions of separating floors with external and party cavity walls.

Staircase 13No. risers at 199mm with 223mm treads. Max 42° degrees.

5mm continuous dry ridge ventilation.

Underside of roof structure to be lined with one number layer of 15mm Gyproc wallboard.

Provide Cavity Tray over Canopy flashing.

GRP canopy by approved Group supplier to feature brick surround.

Provide Cavity tray over lintel.

Weepholes at 450mm c/cs.

NOTE:
First floor construction provides 40db sound reduction and comprises of 22mm chipboard over 240mm deep proprietary timber joists to specialist design.

Underside of timber floor structure to be lined with one number layer of 15mm Gyproc wallboard.

Level threshold to Part M 2004 (Refer to Standard Detail).

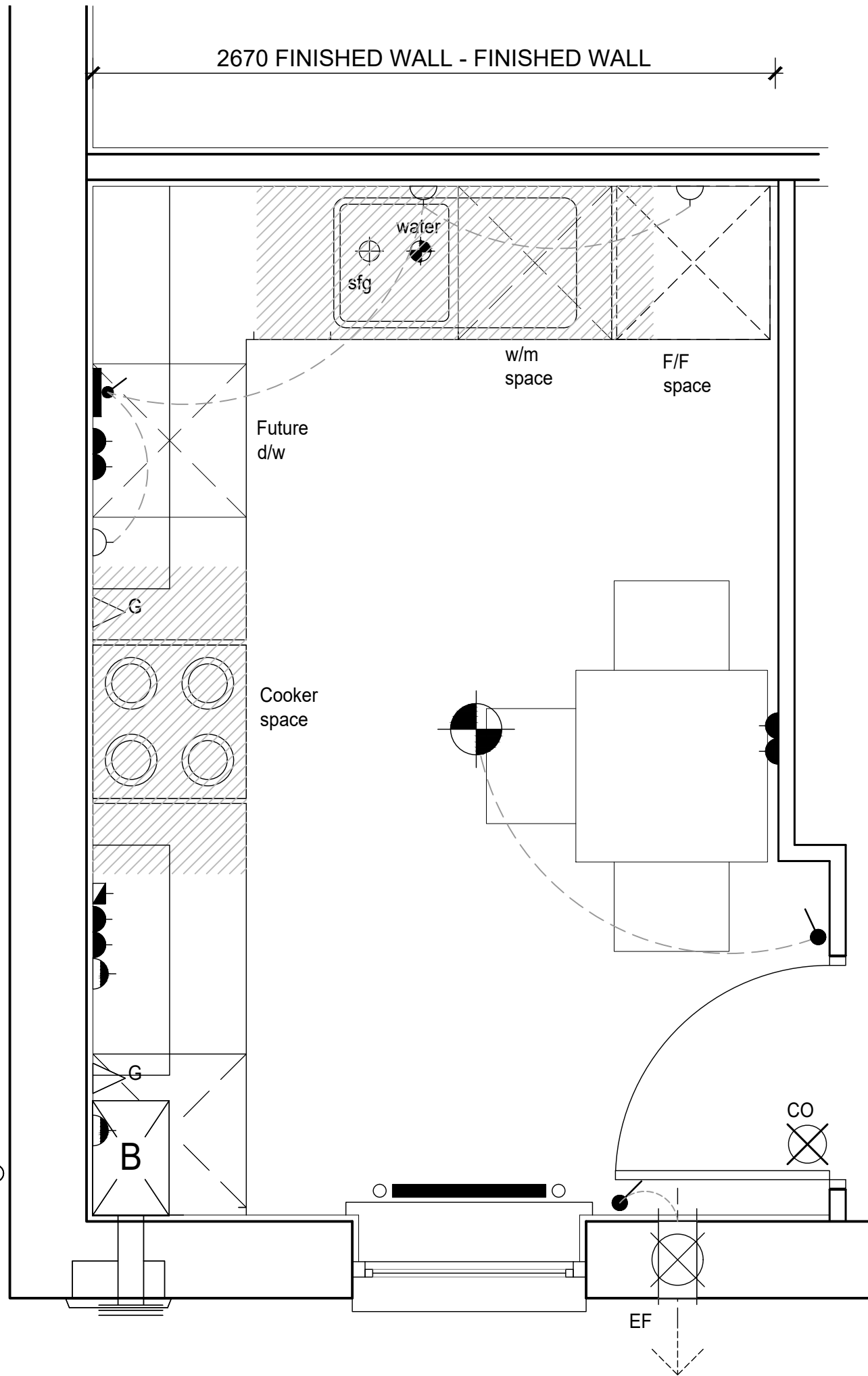
Level approach to front entrance max gradient 1:20, 900mm width (Part M 2004).

THIS DRAWING IS COMPLIANT WITH
2013 & 2015 BUILDING REGULATIONS

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2013 & 2015 BUILDING REGULATIONS

4025 FINISHED WALL - FINISHED WALL

2670 FINISHED WALL - FINISHED WALL



KITCHEN SYMBOLS KEY

- Oven and hob panel
- Double socket outlet
- Low level socket
- Cooker hood or Boiler point
- Lightswitch
- Lightswitch - 2 way
- Multi switch panel (to all appliances)
- Switch with low level socket
- Fluorescent Strip light fitting
- Batten light fitting with low energy bulb
- Pendant light fitting with low energy bulb
- Downlighter recessed into ceiling
- LED lighting fitted below wall units
- TV Point
- Telephone Point
- Consumer Unit - fixed
1350mm - 1450mm from FFL
- Ceiling mounted extract fan
- Ceiling mounted extract fan
- Carbon monoxide detector
To wall - located above the height of any door or window min 150mm from ceiling.
To ceiling - located 300mm from any wall.
- Heat detector
- Sealed floor gully
- Soil vent pipe
- Boiler
- Gas Point
- Water inlet
- Denotes shaded 300mm zone.
No electric sockets etc above worktop to be placed within this zone.

TOTAL FLOOR AREA : 1041sqft / 96.76msq

Sales Name: .

House Type Code: SH76-EG7

Spec: SOCIAL Drawing No: 09

Drawn: SH Checked: SH

Date: Oct 2018

Scale: 1:25

KITCHEN LAYOUT - GOLD

Rev: Refer to Data Sheet for full details

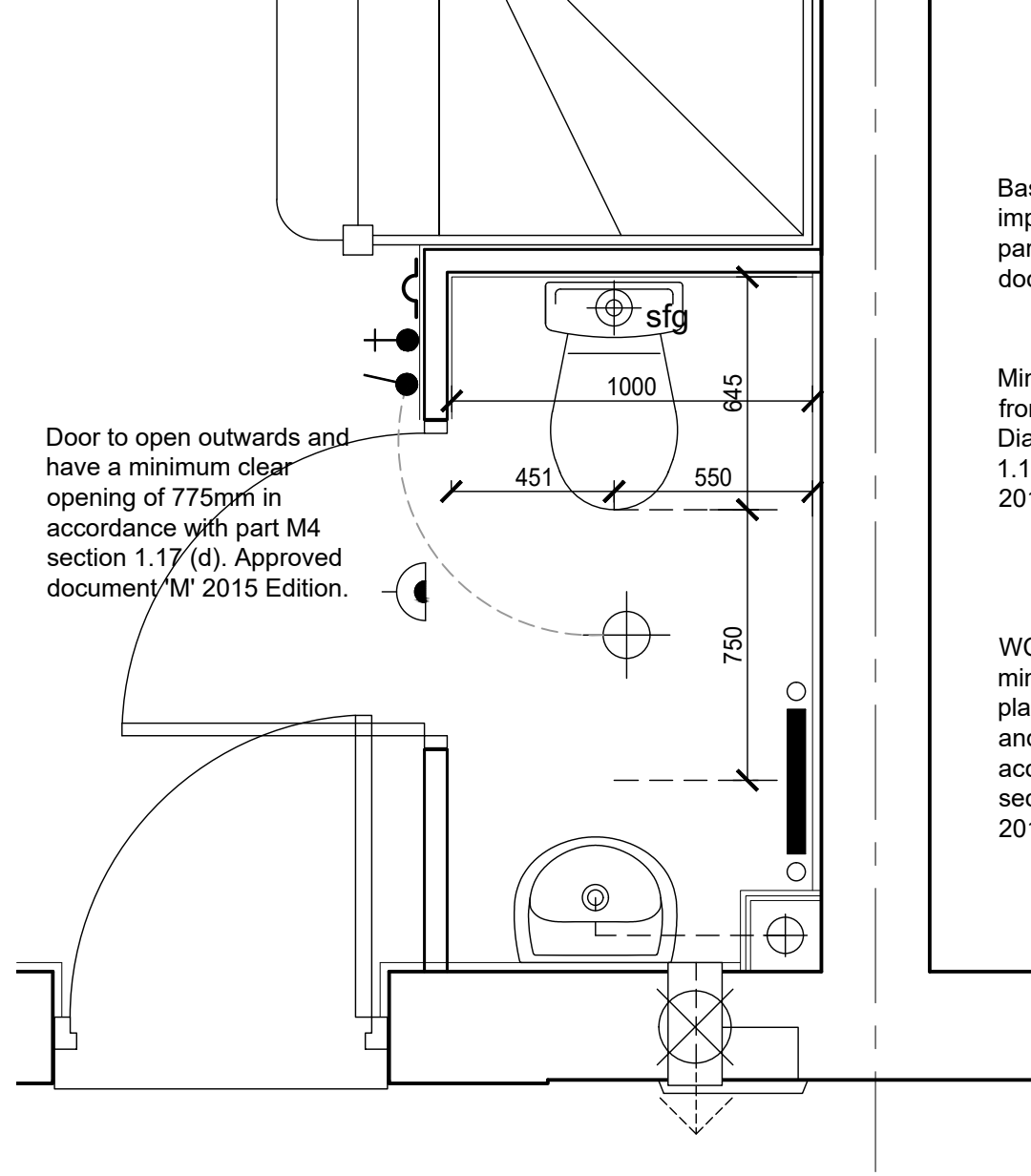
Date:

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DAVID WILSON HOMES
WHERE QUALITY LIVES

THIS DRAWING IS COMPLIANT
WITH CATEGORY 1 OF AD M 2015



Door to open outwards and have a minimum clear opening of 775mm in accordance with part M4 section 1.17 (d). Approved document 'M' 2015 Edition.

Basin to be positioned to avoid impeding access in accordance part M4 section 1.17. Approved document 'M' 2015 Edition.

Minimum 750mm clear space in front of WC in accordance with Diagram 13 part M4 section 1.17(b). Approved document 'M' 2015 Edition.

WC to be positioned so there is a minimum of 450mm from finished plaster to centre of WC from door side and 400mm min from wall side, in accordance with Diagram 1.3A part M4 section 1.17. Approved document 'M' 2015 Edition.

TOTAL FLOOR AREA : 1041sqft / 96.76msq

Sales Name: .

House Type Code: SH76-EG7

Spec: SOCIAL Drawing No: 10

Drawn: SH Checked: SH

Date: Oct 2018

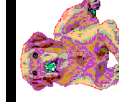
Scale: 1:20

WC LAYOUT CAT 1

Rev: Refer to Data Sheet for full details

Date:

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WHERE QUALITY LIVES